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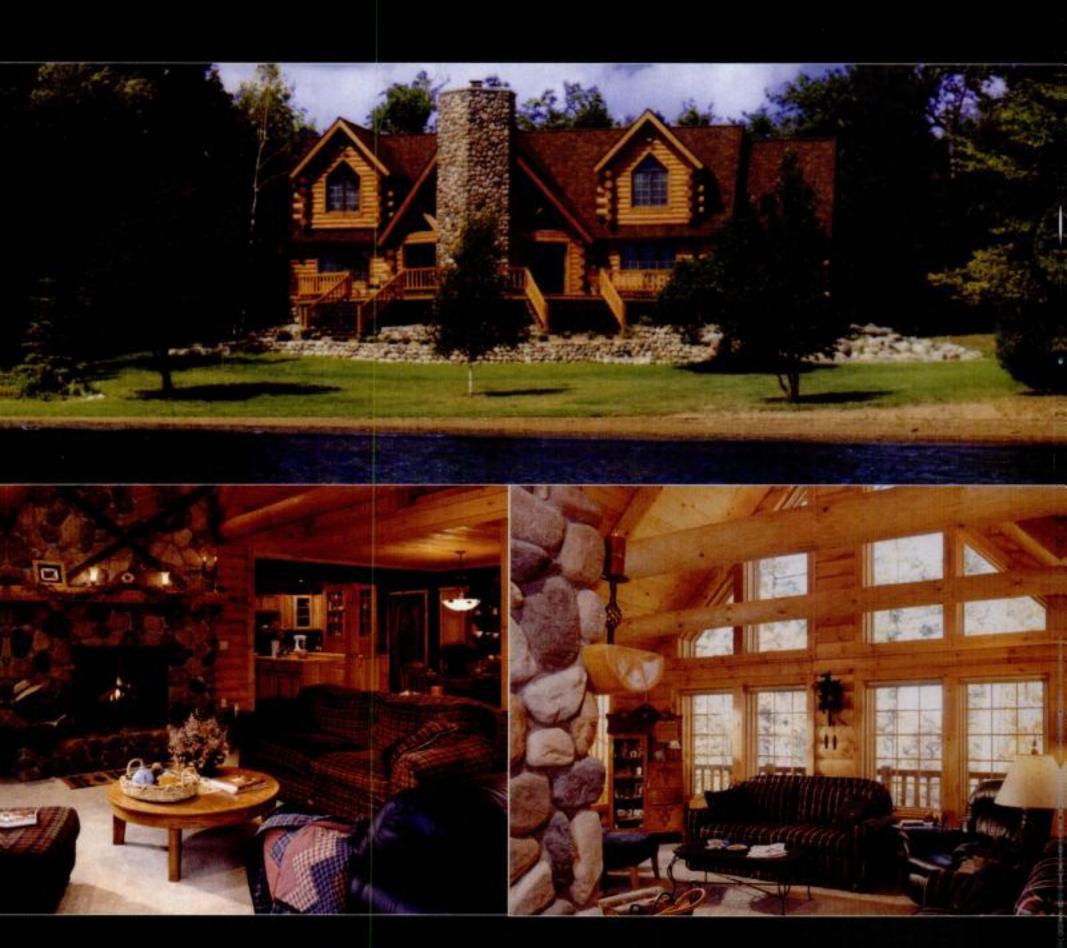
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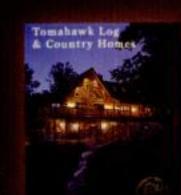
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- PHASE 3: The logs arrive and are put into place
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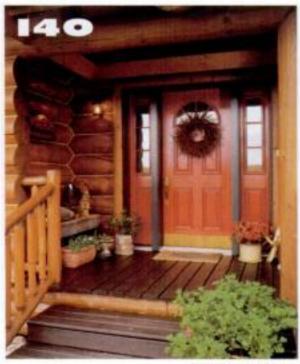


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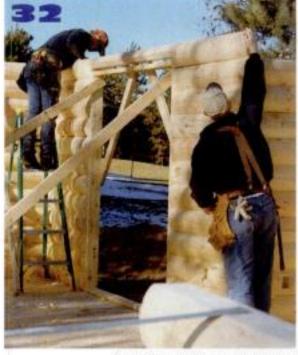


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Photo Courtesy Alpine Log Homes/By Dann Coffey

ON THE COVER



Photo Courtesy Custom Log Flomes/By Roger Wade

The research, planning

your log home project

making your log home dream a reality. There

are many resources

available to assist you

including architects, designers and organi-

zations who specialize

in log home construc-

tion. For a list of them,

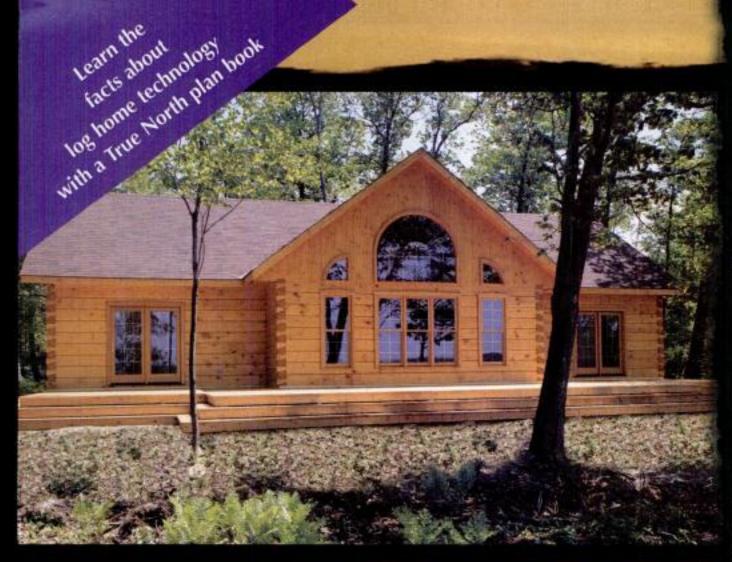
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in this endeavor.

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you'll take toward

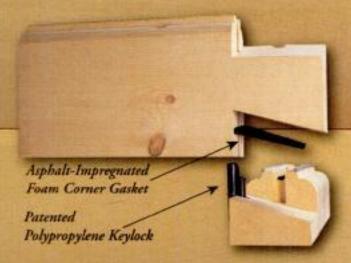


Lake Muskoka, Ontario

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Our technology capitalizes on the fact that all logs will shrink and settle over time. True North uses that natural log shrinkage to its advantage, which ultimately makes our log assemblies tighter. The introduction of strategically-placed patented key locks, butt splines and post locks works with nature to actually tighten the structure over time.

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With over 100 stunning photographs, our plan book walks you through a step-by-step assembly of our watershed dovetail comer. We also feature our new double round log profile, a post-to-log joining system and our traditional saddlenotch corner. Additionally, we answer in detail many of the commonly asked questions posed by log home enthusiasts.

To order your plan book, or for the location of a construction seminar

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1,685,584	5,325,645	2,002,665
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1,260,655	5,020,289	1,264,644



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60 PAGES OF FLOOR PLANS

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Today, the very same people who established Rocky in 1974 are still at the helm, proud that their commitment to quality has helped thousands of new homeowners create their own memories ever since. And they've learned that it can't happen without the right people. So behind every tight joint and every voice on the phone is an

experienced person as part of a smooth team effort.



Crafting a log home that duplicates the one in your head is easy. Like rocket science easy.

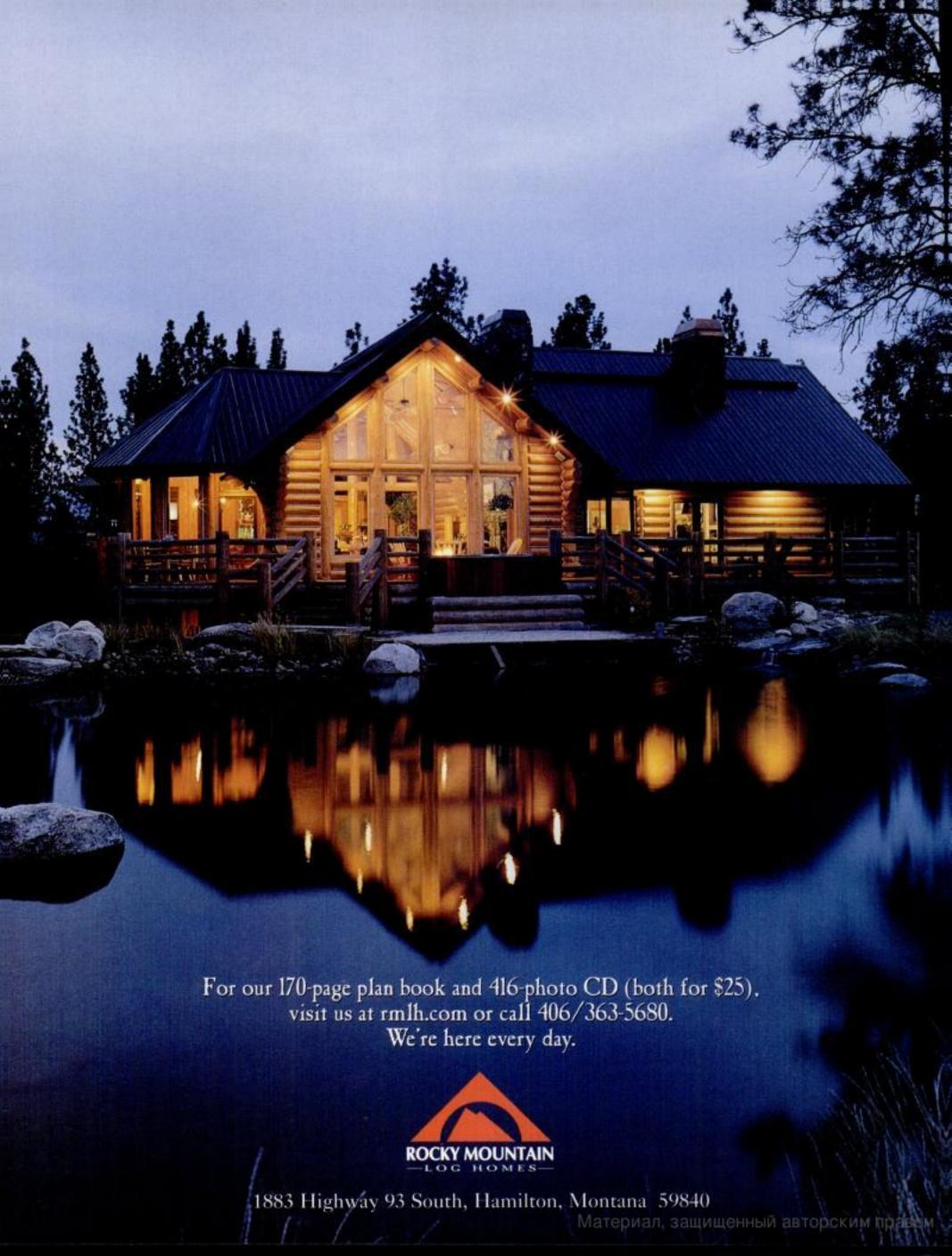
That's exactly why we employ some of the best designers, engineers and artisans in the business. Having created hundreds of milled and handcrafted log homes a year for 27 years, they've gotten very, very good at it,

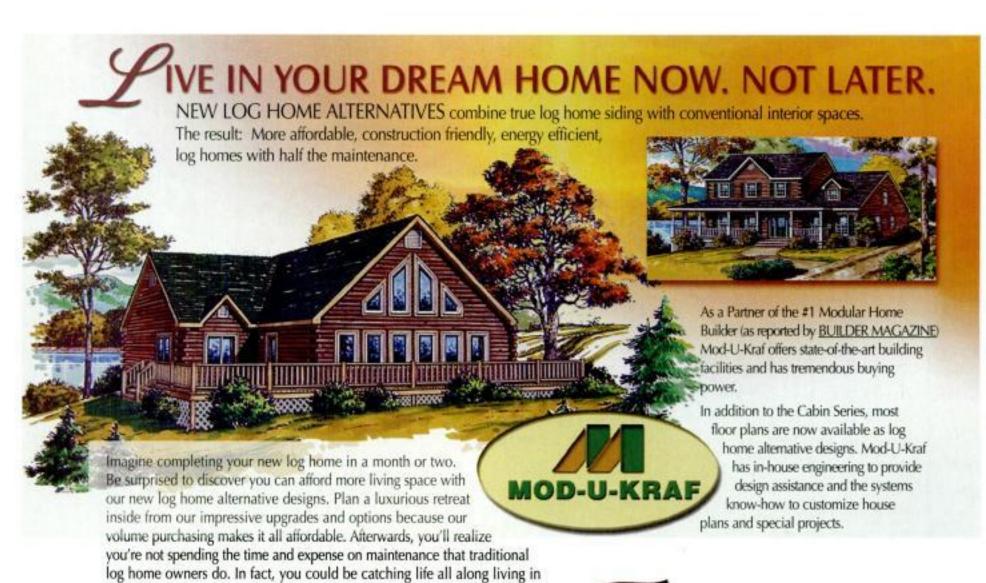
ROCKY MOUNTAIN

So being there to help you modify one of our award-winning plans means they work for you as much as for us. Their job is to make the process easy, and the house very much your own.



If you think we're content with simply mastering the log home, remember that you're not content with a simple log home. Our expertise extends to more than just log homes. From our beautiful historical log siding to unique character logs, our line of supplementary materials has helped complete non-log structures, added an authentic charm to commercial buildings, even started many clients in whole new design directions. And as you can see, we're still not content.





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Blueprint Basics

s an educated consumer, you've spent a great deal of time researching the companies that supply logs and the wood species, corner systems and joinery techniques they use. You've probably gathered information on windows, roofing materials, even real estate. But have you thought about the floor plan itself?

Knowing how to read a blueprint will give you better insight into the home you're designing and how it will function. It will also help ensure you get the home you want.

The blueprint package for your home should include several drawings, including the floor plan for each level of your home, exterior and interior elevations, details and cross-section diagrams. There should also be general notes that explain how your home is going to be constructed and an outline of the materials and equipment needed to properly complete the job.

Blueprint packages often contain a combination of the following sheets:

Cover Sheet. Shows a sketch of your finished home.

Exterior Elevations. Show the front, rear and sides of your house, drawn to ¼" or ¼" scale.

Foundation Plans. Show the complete foundation layout, including supporting walls and excavated and unexcavated areas.

Framing Plan. If your log home design includes stick-framed walls or sections, your blueprint package will include this sheet, which shows the framing structure for each area in detail.

Roof Plan. Shows the framing and support structure for each roof section, if there is more than one.

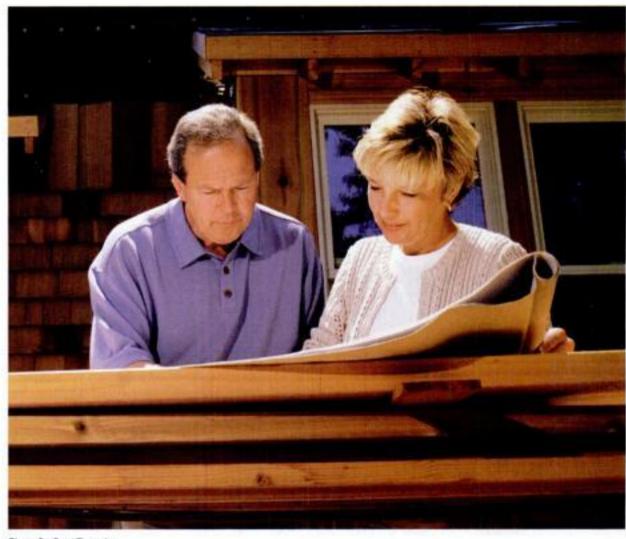


Photo By Ran Chapple

Detailed Floor Plans. Show the layout of each floor of your home in '4" scale. Include dimensions for rooms and other interior spaces and keys for cross-section details provided in later plans.

House Sections. Show sections or cutaways of the foundation, interior walls, exterior walls, floors and roof areas in a large-scale cutaway view. Usually scaled to 1/8":1' or 1/2":1'. Additional cross-sections may be required to show changes in floors, ceiling or roof heights.

Interior Elevations. Show the design, details and layout of various features, including kitchen cabinets, fireplaces, bookcases, etc.

Window and Door Schedules. Show the location, sizes, quantities and sometimes part numbers of each window and door in the home. Electrical Schematic. Drawings that show the suggested location of fixtures, outlets, switches and wiring runs.

Plumbing Schematic. Drawings that show the locations of all plumbing fixtures.

Blueprints typically appear on large paper that comes in three standard sizes — C (18"x24"), D (24"x36") and E (36"x48") — and are often drawn on vellum, a thin, almost transparent paper that can be erased and redrawn.



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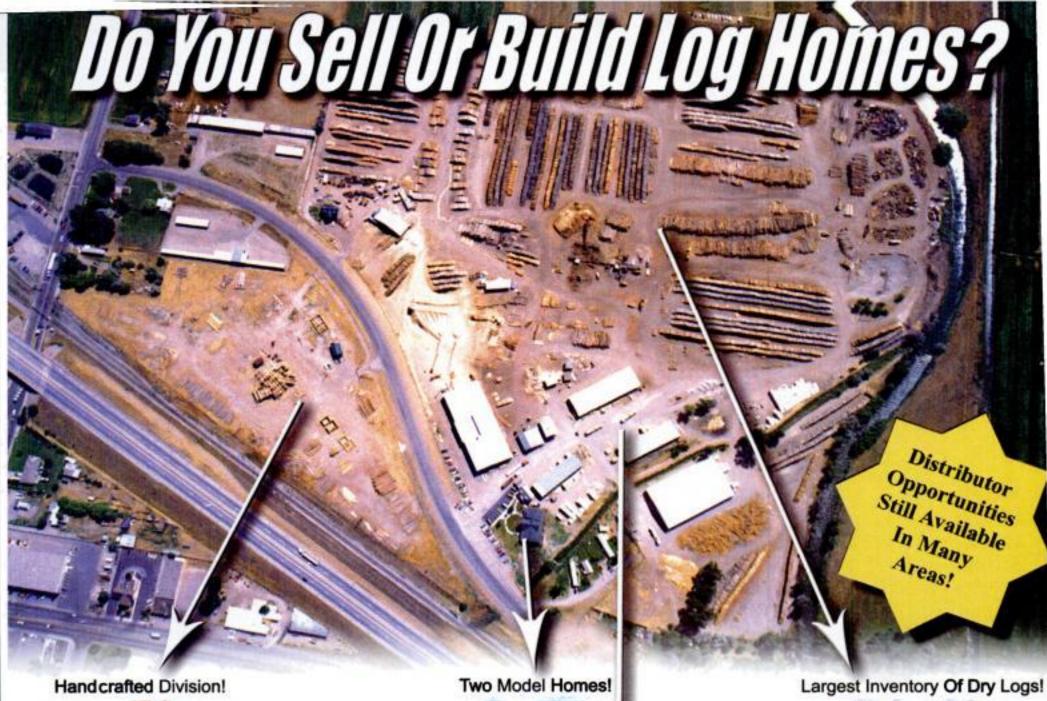
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Choose components in concert with your site and design.

Inside and out, give careful consideration to the major building components that will appear adjacent to your logs, including:

Windows. Color, size, shape and design — the choices are many. Consider more than how much light they'll let in (or keep out). Think about the light patterns they'll create if they're divided or bear decorative grilles, about their orientation and finish, and how they will complement your logs.

Doors. Again, color, size and shape are important. Doors should fit the scale of your logs as well as the spaces they open onto.

Trim. Both interior and exterior trim play an important role. Color, texture and size (scale) will affect how your spaces are defined, how they flow visually. Color is a consideration as well; do you match the trim color to your logs or use a different color for contrast? This is a personal choice only you can make.

Marry your wants and needs so they both fit your budget.

Make a list of your wants and needs, then compare them to your budget. Can you have that massive great room and a library, or will the two have to be combined? That depends on your situation.

Don't be dismayed if you have to combine them. A well-executed design will help you create spaces that accommodate several activities. Some of the most basic elements in your home can be used to accomplish this, including varied ceiling heights and log posts.

6 Function, function, function!

Last but certainly not least, your log home must be functional. If you enjoy the outdoors, your home must have

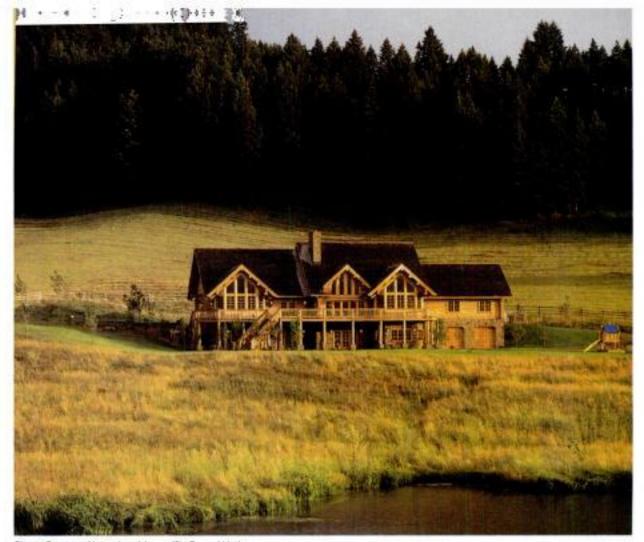


Photo Courtesy Alpine Log Homes/By Roger Wade

storage for your gear and probably a mudroom for changing. If you like to entertain, you may want commercialsized appliances in the kitchen and a large dining area.

How you use your home should be your primary consideration during the design process, but you should also think about:

Safety. Create well-lit spaces, install slip-resistant flooring and provide handrails and grab bars.

Practicality. Are your doorways, hallways and stairwells wide enough to accommodate that oversized furniture you want? Do you want access to a shower directly from the garage? Can you work efficiently in the kitchen and still interact with guests or children doing homework? These are just a few of the everyday tasks impacted by how you design your home and the living spaces within it.

Growth and change. Simply put, design your home to grow — and age — with you. As difficult as it might be, try to imagine how you would use your home 5, 10, even 20 years down the road.

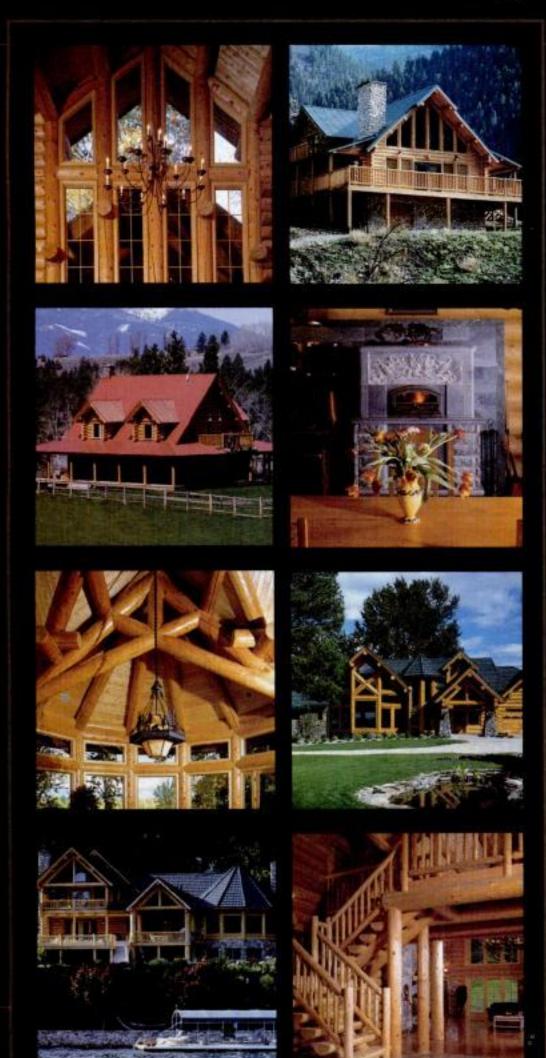
If your family is growing, you obviously need to incorporate enough bedrooms and baths to accommodate everyone, and you may need separate study or play areas. If you plan to retire in your log home, remember that needs change as we age and that may mean designing with wheelchair accessibility in mind. It may mean wider doors, stairs and halls; fewer obstructions (islands, posts); and a single-level floor plan.

You may also want to rethink how you install your home's electrical and water systems. Lower than normal light switches (48 inches maximum), higher than normal receptacles (18 inches minimum) and showers with roll-in edges are all recommended for people with limited capabilities.

In the end, you know yourself best and that means you are your log home's best designer. Sure, you need an architect or certified designer to make it official, but no one knows better how you will use your home.

Give thoughtful consideration to your home's design, think about the spaces you enjoy in your current home, talk to friends and family about the things they like best about their homes. Put it all together and you should be able to create the log home you've always wanted.

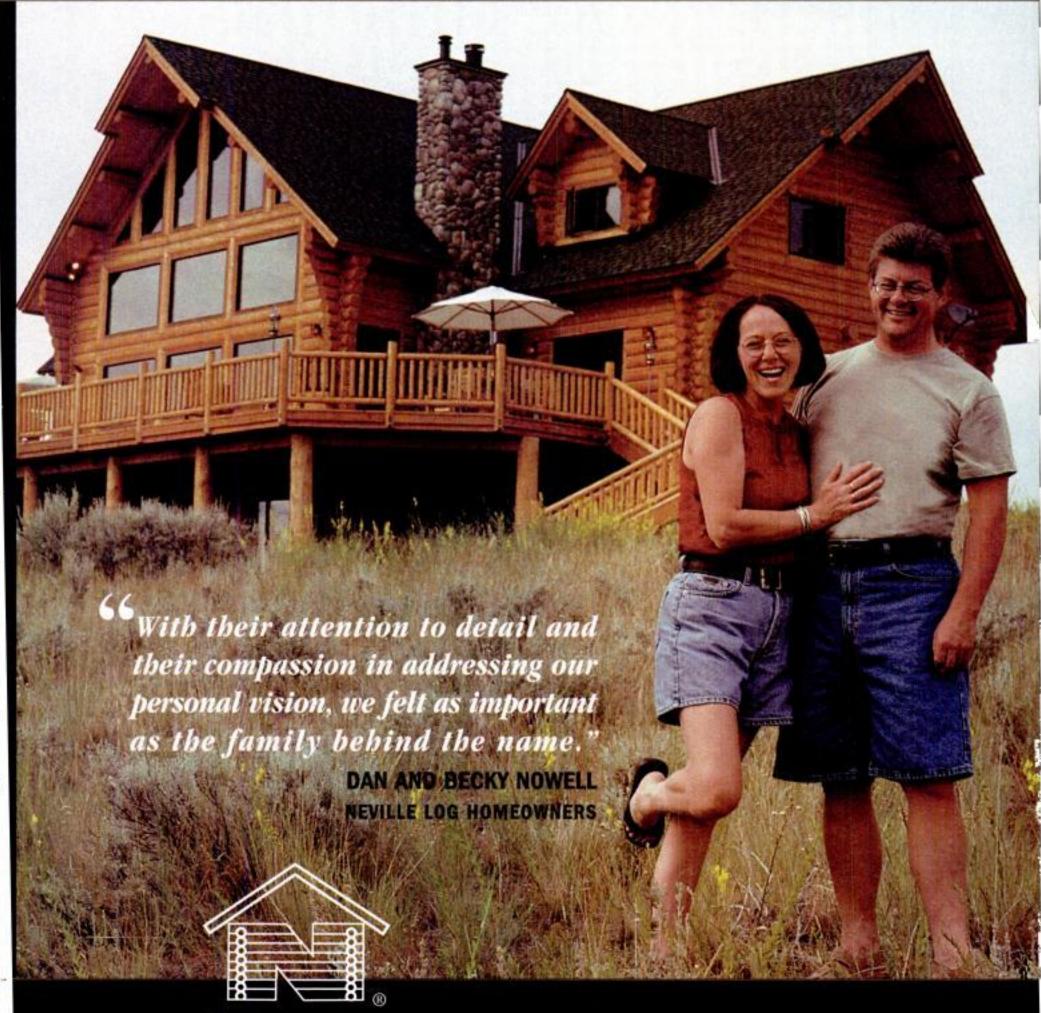
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Материал, зашищень Circle Reader Response #24 пом



Photo By John Luke Photography

tem will create flat or vaulted ceilings
— or a combination of both — inside
your home. Open beams with rafters or
purlins create the look often found in
log homes.

No matter which roof system you choose, your roof will be topped with tar paper and the roofing material of your choice.

Tackle Inside Jobs

Now the work can begin inside your home. This is a busy time, with several subcontractors working in various areas at the same time.

First, interior walls must be framed and set. Your home may feature interior log walls that were raised along with the other logs, but odds are your home will also have conventionally-framed partition walls. As with stick-built housing, these walls will be framed 2x4s or 2x6s.

Other tasks being completed at this time:

Windows and doors. Installation is a crucial step; with the home weathertight, Mother Nature will have less impact on your home's progress.

Masonry. If your home will feature a fireplace, masons will begin installing the chimney and hearths.

Plumbing. Your contractor will install

the rough plumbing system so an initial inspection can be made.

Electrical. Your contractor will install the rough electrical system and any service panels, again so an inspection can be made.

HVAC. Ductwork and equipment for your home's heating, ventilation and air conditioning systems will be installed and inspected.

Insulation. Walls and ceilings will be insulated where appropriate.

At this time, some very important progress is being made with your home's logs. They will be treated with preservatives for protection against moisture, UV rays, pests and mildew. If your home is to be chinked, that will be done at this time as well.

Finish Work

From here on out, much of the construction on your log home mirrors that carried out in a conventional building project. There's still a lot to be done, but much of it is called "finish work." This includes:

Wallcoverings. Drywall and/or plaster is installed; walls are painted or stained.

Trim. Door and window trim, baseboard, moulding and other woodwork is installed. Floor coverings. Carpet, tile and hardwood flooring is installed and finished.

Many major components —including doors, cabinetry, closet organizers and stairs and railings — are installed at this time.

In addition, your home's major systems will be completed for final inspection. Plumbing fixtures, HVAC equipment, electrical fixtures and appliances will all be put in place and tested.

Exterior Matters

While contractors are working inside, a great deal of work can be completed on your home's exterior.

Door and window trim, gutters and downspouts and garage doors will be installed, and porches will be completed.

Your site will receive its finish grading and, weather permitting, the lawn and other landscaping may be installed. If it hasn't already been done, the driveway and any walkways will be installed.

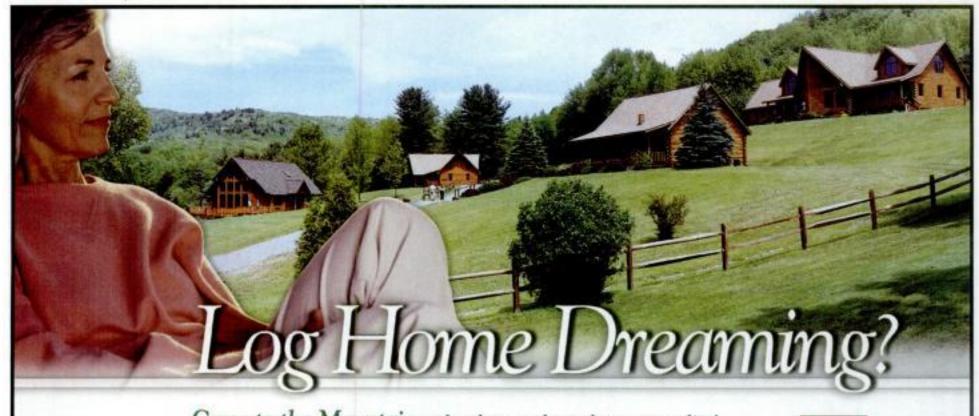
Inspections: Yours & The Pros'

Even before your home receives its final inspection from professionals, you should inspect it yourself.

Walk through the home with each subcontractor to review their work. Note any problem areas and create a punch list (a final checklist of items that need to be finished or fixed) for each subcontractor. Tour the home again when the punch list work has been completed to verify everything is in order.

Finally, arrange for a final inspection by local, state or other authorities. When you've secured your occupancy permit, you can finalize your financing, secure your homeowner's insurance and move in.

To watch a log home being built from the ground up, turn to the 7-part series on our 2003 Showcase Home that begins on page 45.



Come to the Mountain and make your dream home come alive!

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10 Questions To Ask An Architect Or Designer

ike stick-frame construction, designing and building a log home involves myriads of design options to choose from, zoning and code regulations to follow and contractors and subcontractors to choose. But that's pretty much where the similarities end.

Log construction has its own set of considerations and requirements. Each log manufacturer or handcrafter has its own way of doing things. Log profiles, corner and joinery systems, and settlement adjustments are just a few examples. Then there are protection and maintenance issues and site access requirements for those big trucks that deliver your logs.

Working with an architect or designer is one way you can alleviate some of the guesswork when making these decisions. Many log suppliers employ in-house architects or designers; they are a good place to start. However, you should be able to work with an outside firm. Just be sure the two can work together to complete your project in a satisfactory, timely manner.

Following are 10 questions you should ask a potential architect or designer before choosing one to work on your project.

- Do you have experience designing log homes? If so, please show me some examples of your work and provide a list of past clients.
- What log manufacturers, handcrafters or log building systems are you familiar with?
- Oo you have experience with cost estimating? If so, how accurate have your past estimates been?
- Will you be the only person working on my project, or will you work



Photo Courtesy Rocky Mountain Log Homes

with others within your firm? Will I be able to talk to you and anyone else working on my project directly?

- 6 What visual tools do you provide during the design process? Will you supply models, drawings, sketches, 3-D computer animations?
- **6** At what level do you participate in the construction process?
- How do you establish your fees? If the project changes, will you assess additional fees? If so, what are the fees based on?
- 3 What is your design philosophy?
- What do you see as the important considerations, challenges or issues surrounding my project?
- What is your schedule like? How busy are you? What kind of timeline are we looking at for completing my project?

What's the difference?

An architect is licensed by the state in which he/she practices. Most states require that architects obtain at least a bachelor's degree from an accredited university and pass state licensing exams that test the applicant's knowledge of technical and theoretical issues associated with a wide variety of construction techniques and building systems.

A designer could have the same education but hasn't taken or passed the exams. Most designers, however, have on-the-job experience and 1 or 2 years of vocational training.

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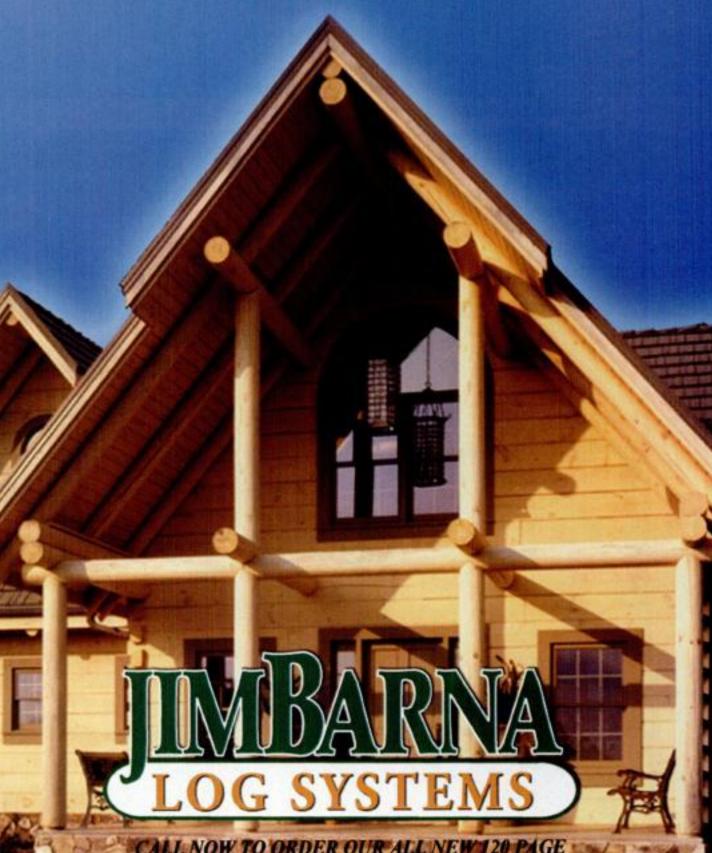
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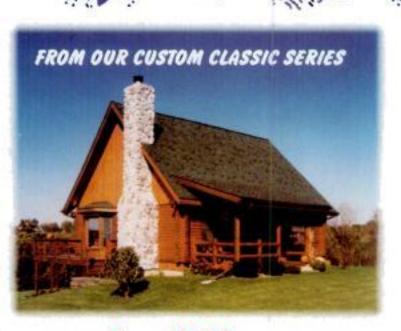
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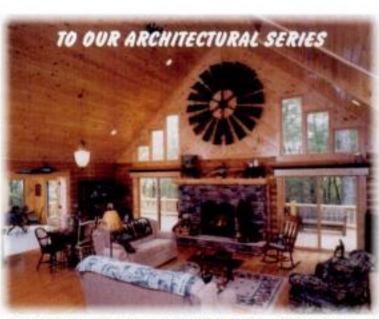
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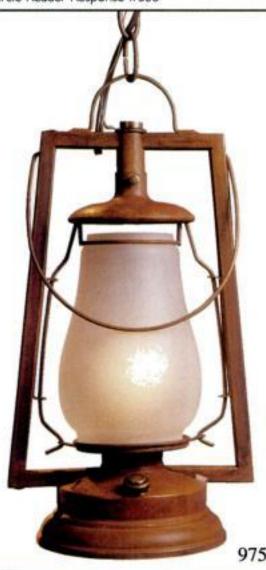
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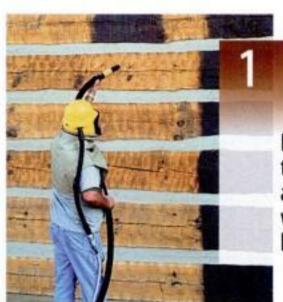


4

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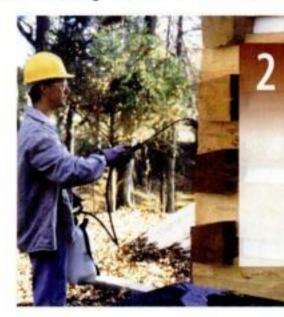
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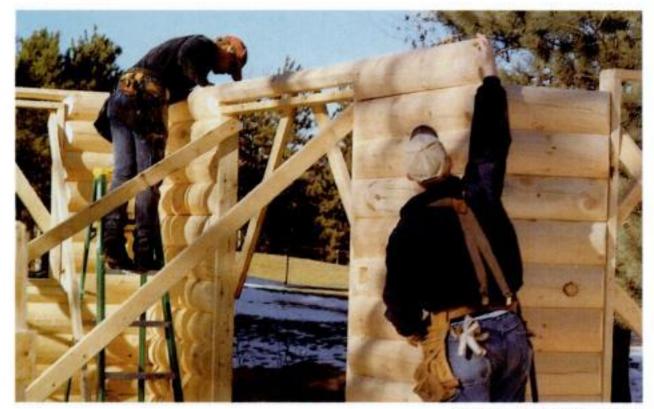


Photo By Paul Hafermann Photography

10 Questions To Ask A Builder

ne of the most important decisions you'll make during the process of designing and building a log home is choosing a builder. You can do all the research in the world about wood species, log suppliers, finishes and windows, but if you fail to hire an experienced, knowledgeable, reliable builder, your project will likely be full of disappointments and unnecessary headaches.

Log construction has its own set of considerations and requirements. Each log manufacturer or handcrafter has its own way of doing things, so your best bet is to locate a builder who has worked with your log supplier before. If your log supplier has an extensive dealer network, chances are pretty good that the dealer who sold you your package is also a builder familiar with the intricacies of the company's building system.

If that isn't the case, ask your dealer or log supplier to recommend a builder in your area. You can also talk to people who already own log homes in your area.

Following are 10 questions you should ask a potential builder before choosing one to work on your project.

Do you have experience building log homes? If so, please show me some examples of your work and provide a list of past clients.

- What log manufacturers, handcrafters, or log building systems are you familiar with?
- What will your level of involvement with my project be? Will you take the project from planning and groundbreaking to completion?
- Do you have experience hiring and overseeing subcontractors? If so, do you use specific subcontractors on a regular basis? Who are they?
- 6 Do you offer an allowance system for the selection of kitchen cabinets, windows and other components? Are you open to working with a wide variety of vendors or do you prefer to stick to a limited number of materials and components suppliers?
- O Do you provide specifications and warranty information for all of the materials to be used in my home? What responsibility do you carry after construction is completed? Do you offer a labor warranty?
- How do you establish your fees? If the project changes, will you assess additional fees? If so, what are the fees based on?
- Are you familiar with log home financing and draw schedules?
- What do you see as the important considerations, challenges or issues surrounding my project?
- What is your schedule like? How busy are you? What kind of timeline are we looking at for completing my project?

What's the difference?

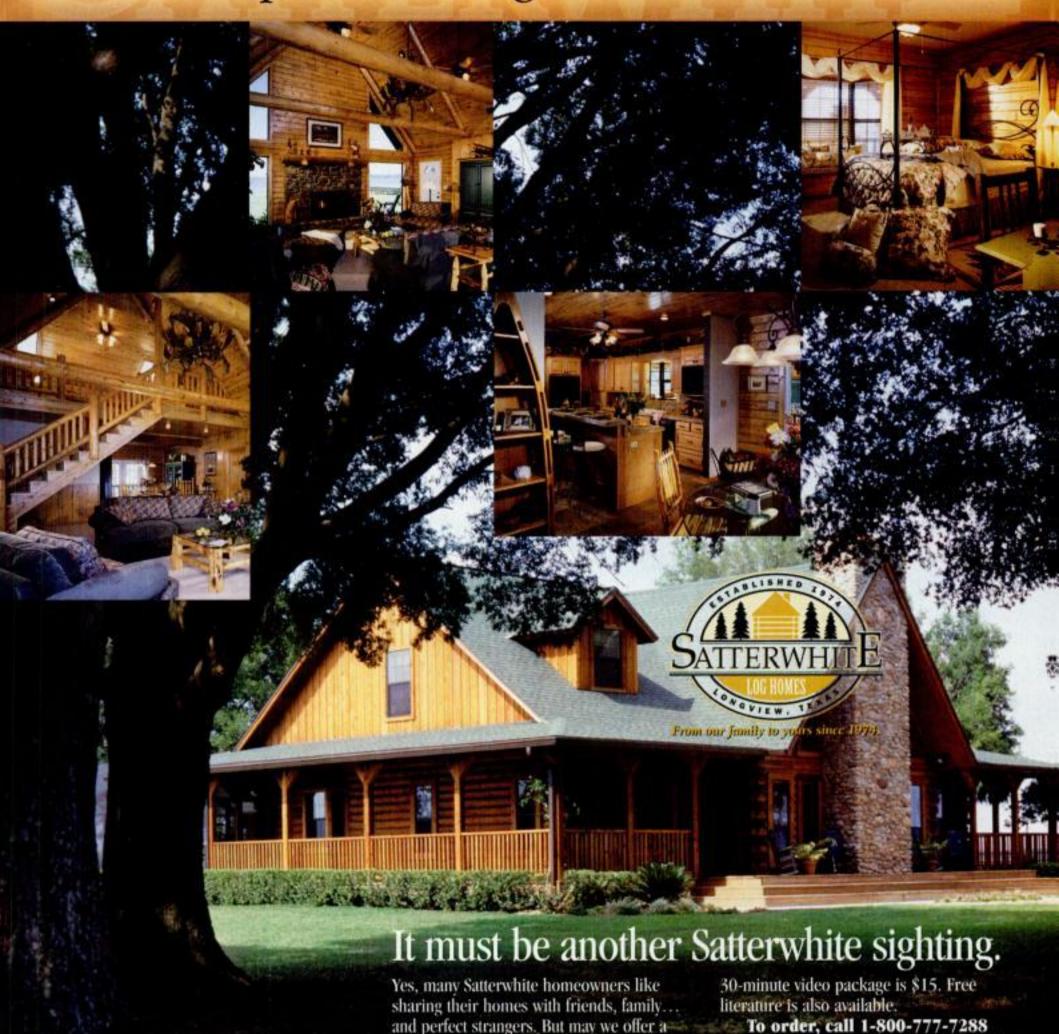
A dealer is a log home manufacturer's field representative. Dealers act as liaisons between the buyer and the log home company.

A builder has his/her own construction company, crew and equipment and does the actual work on the home.

General contractors oversee construction progress, make sure the home is built to specification and often hire subcontractors. Builders act as general contractor on many projects.

Builder-dealers not only sell log packages but also build log homes. They may perform construction and general contracting duties.

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Материал, защищенны Circle Reader Response #9: ОМ

Glossary of Design & Construction Terms

Air-Dried Logs Logs that have been allowed to dry without the aid of heat or microwaves.

Architect A person or organization professionally qualified and licensed to perform architectural services. Architects have at least a bachelor's degree from an accredited university and must pass state licensing exams.

Builder A person or company that erects log homes. Builders may build the entire house or just the log shell.

Building Codes Sets of regulations, ordinances or statutes that govern how things are built, from the foundation to insulation thickness to size of windows. Although there are a variety of national building codes, including the ICBO, BOCA, SBCCI and the new International Building Code, each jurisdiction, whether it's a town, county or state, can adopt any or all elements of these sets of regulations. Ultimately, the goal is to ensure that buildings are safe.

CAD Acronym for Computer-Aided Design, a means of designing floor plans with a computer.

Caulk A sealant used to fill joints and other spaces between logs.

Change Order A written and signed agreement between the homeowner and the builder authorizing a change in the work or an adjustment to the contract sum or timeline.

Check A natural separation of wood fibers that occurs during the drying process.

Chinking Filler used between logs to eliminate moisture and air infiltration.



Photo Courtesy Albine Log Homes/By Dann Coffey

Construction Budget The sum established by an owner as being available to finance the construction of a home. Should include contingencies for bidding to contractors and for changes made during construction. A project budget, by comparison, is the amount available for the entire project, including the construction budget, land costs, costs associated with furnishing the home, the cost of equipment, financing costs, payment of professional services, the contingency allowance, and any other cost associated with the project.

Construction Documents Drawings and specifications created by an architect that detail requirements for the construction of a home. Contractor A licensed builder who agrees to provide labor, materials, equipment and other services to fulfill duties as specified in the building contract.

Deadstanding (or standing dead)

Describes trees still standing after being killed by insect or weather damage.

Dealer A person who represents a log home supplier through an independent dealership. A builder-dealer also operates as a builder and provides construction services.

Design/Build A method of project completion in which the owner contracts with a single company or person responsible for the entire design and construction services associated with a project.

Continued on page 36



(Prices include saddle notched corners.)

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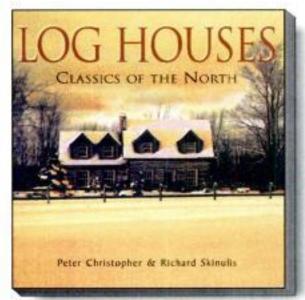
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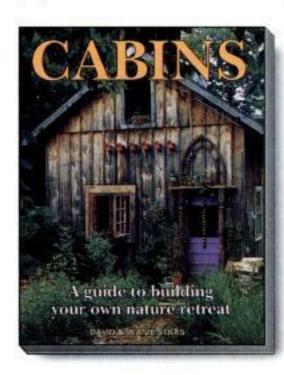
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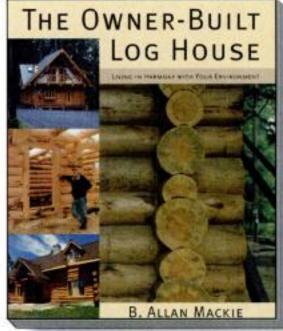
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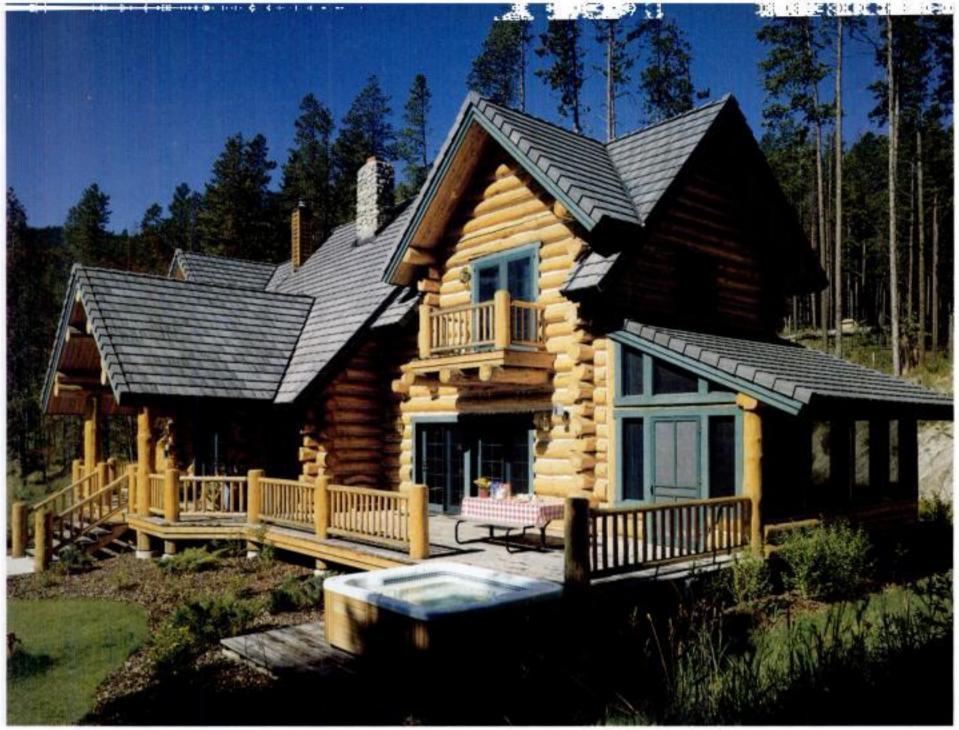


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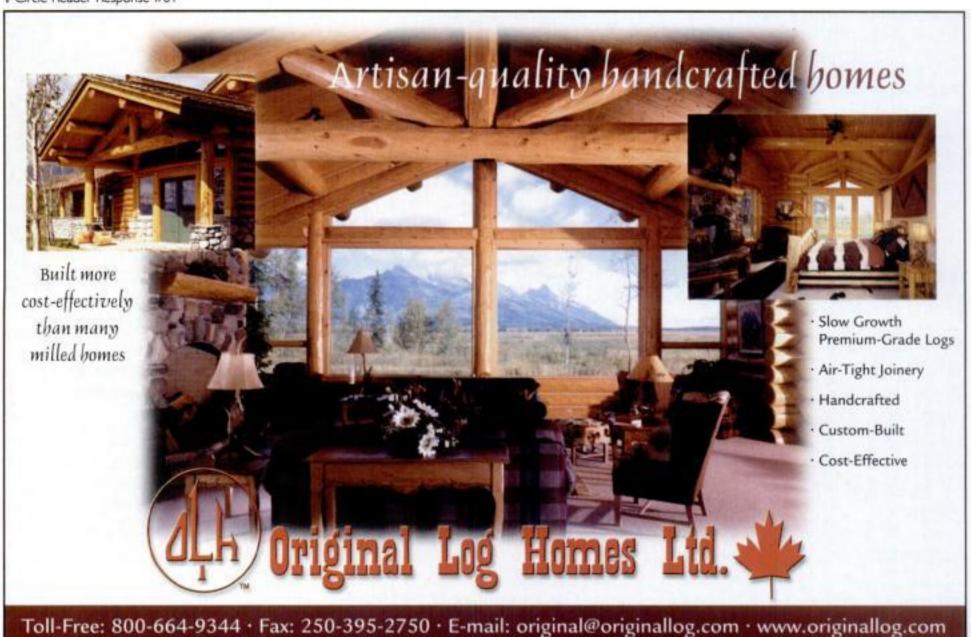
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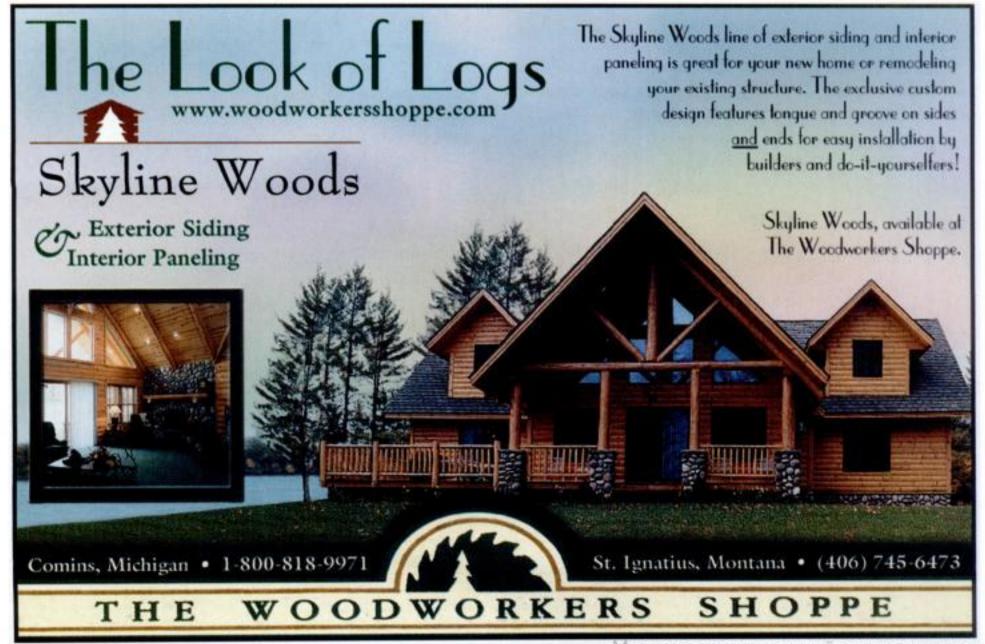


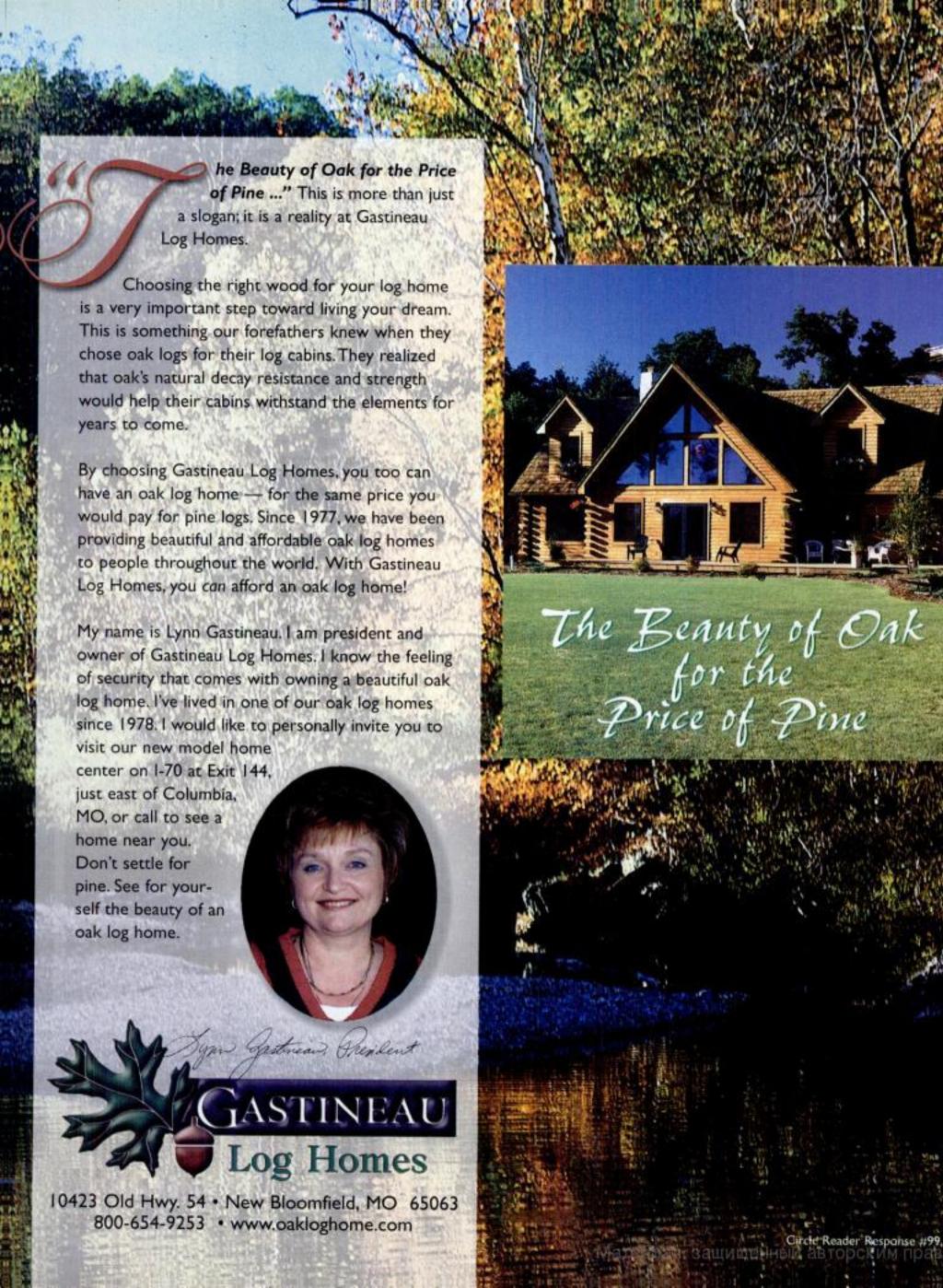
An architect or designer experienced in log home design will bring invaluable insight to your project.

Photo Courtesy Custom Log Homes/By Roger Wade

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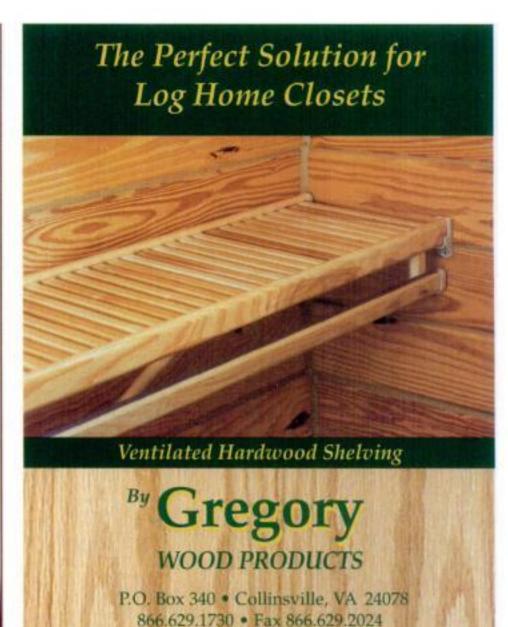
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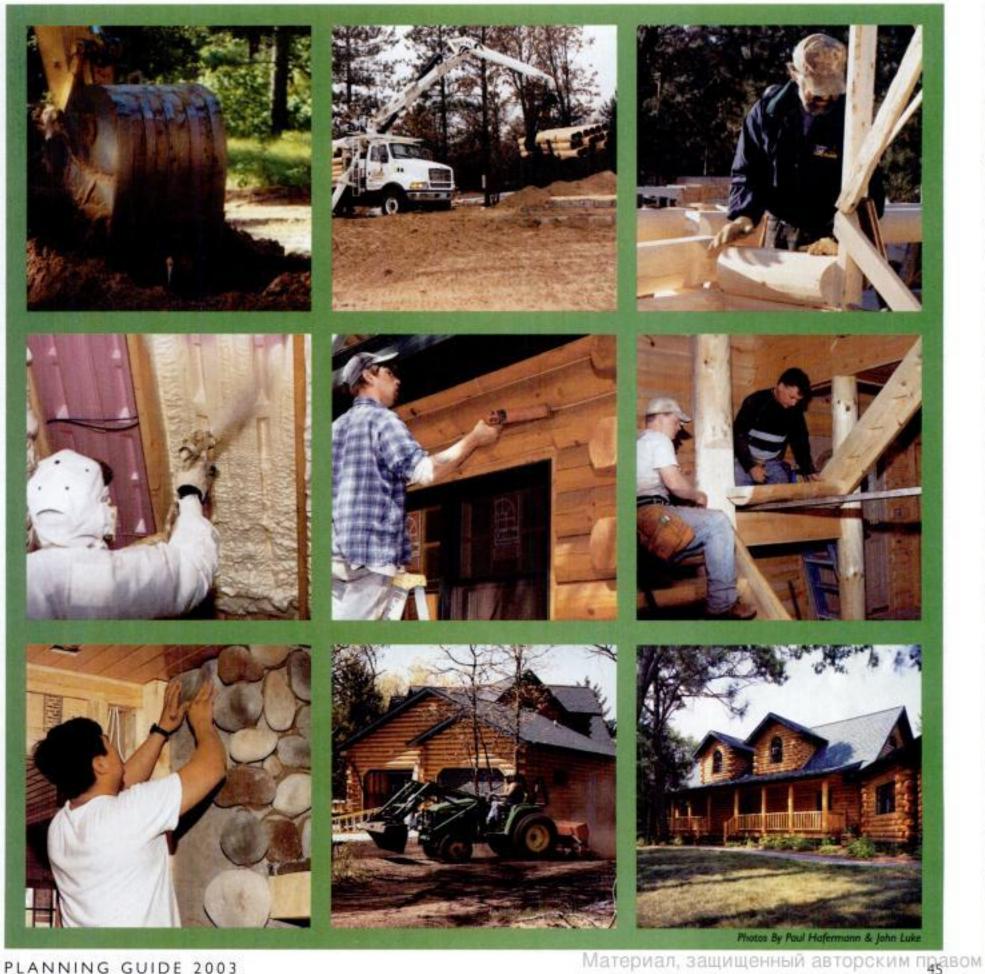
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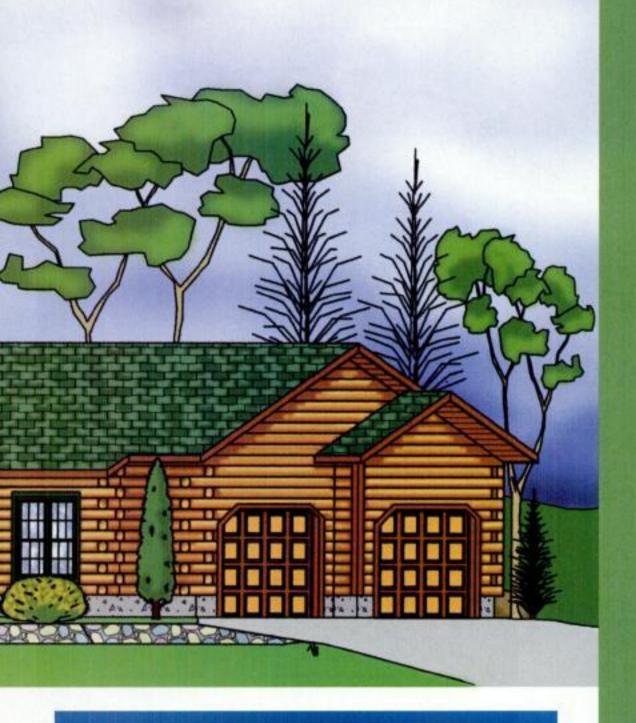
BY TERESA HILGENBERG

If you're like most of our readers, you're dying to know what it's like to build a log home. Maybe you're not quite ready to build your own home, still dreaming, really, but curious as a cat when it comes to the log home experience. Well, your wait is over. Here's your opportunity to follow a home from beginning to end, from putting the first design on paper to hanging the last picture.

Together with Golden Eagle Log Homes, Log Home Design Ideas built the Double Eagle, a 2,377 square foot log home, in the heart of central Wisconsin's vacationland. The home is sited just off the 18th green of The Lakes Course at Lake Arrowhead, which offers great golf, gorgeous views and the perfect spot for a log home.

The Double Eagle was finished nearly a year ago, and is now privately owned. On the pages of this issue, however, you'll be able to experience the design and construction of the Double Eagle, witnessing everything from site selection to a tour of the fully-furnished, ready-to-move-in home. We'll look at the process of securing permits, offer advice on choosing roofing and flooring, watch as plumbing and electrical systems are installed, and learn the finer details of erecting a log shell, plus a whole lot more.

The six-installment story of the Double Eagle's rise from the ground up is published here in its entirety. Each installment focuses on several key aspects of the building process and is illustrated with color photography shot on-site during the construction phase. It all comes together in a tour of the furnished home, which begins on page 106. Enjoy!



BUILDING, STEP-BY-STEP

So why did we embark on this project? Quite simply, the educational opportunities couldn't be found anywhere else.

"We build several research and development log homes every year," says Jay Parmeter, president and co-owner of Golden Eagle Log Homes. "We try new log concepts, trim ideas, different stains. We are always trying to improve the products we sell. This handson approach is the best way to stay in tune with the market."

Education is something the people at Golden Eagle know about. Both Jay and his brother Tod learned the family business from their parents, Wally and Marlace, who founded the Golden Eagle Building Center in 1966. After fulfilling their own dream of living in a log home, the couple added log home construction to the company's repertoire. Wally and Marlace retired in 1997, but left the company in the capable hands of their sons, who had grown — and learned — right along with the company.

In fact, Golden Eagle was preparing to build a spec home in the Lake Arrowhead development when we approached them with the idea of building a showcase home. They immediately jumped at the opportunity.

"When the homes are being built they are a 'shot in the arm'" for Golden Eagle and for the log home industry, Jay says. "We usually put them in the local parade of homes and show them as a model until they are sold."

FOR A GOOD CAUSE

Before the Double Eagle was sold to its first official owner, it had an awful lot of honorary owners who felt like the home was partly theirs. From carpenters to masons, a whole team of dedicated professionals put their hearts and souls into making the Double Eagle a reality.

The American Cancer Society, chosen by Golden Eagle Log Homes as the project's official charity and co-sponsor of the open house events held last June, was a vital part of this team. Ticket proceeds raised at the events were donated to the local chapter of the ACS, which staffed the home with volunteers from the area.



The Double Eagle was built near Nekoosa, Wisconsin, just a few hours' drive from Madison, Chicago and the Twin Cities.

THE DOUBLE EAGLE:

Before & After

THE PLAN

Like many prospective log home owners, we began with a stock plan and tweaked it to fit our needs. Because we had selected a corner site for the showcase home (see page 51), we needed to find a plan that would make the best use of the parcel's irregular shape and take advantage of all of its views of the 18th fairway, green and pond.

Working closely with the staff at Golden Eagle Log
Homes, we decided to begin with the company's
Mountain View plan (at right), which has a
basic 40'x30' footprint and features about
1,640 square feet of living space on two floors.
For the most part, the Mountain View remains
intact within the Double Eagle plan.

Our first goal was to enlarge the plan to approximately 2,000 square feet. The most significant changes were made on the first floor, where the only bedroom became the master suite. What was the only bathroom on the Mountain View's first floor became the master bath in the Double Eagle, and that same bathroom gained a cantilevered bump-out to accommodate a jetted tub. A walk-in closet was also enlarged as the home's overall footprint grew to 48'x32'.

Other significant changes were made in the kitchen, which Golden Eagle designers enlarged by 'stealing' space from the garage. The result is not only a bigger kitchen with room for peninsula seating but, we think, better use of the space created by the angled garage.

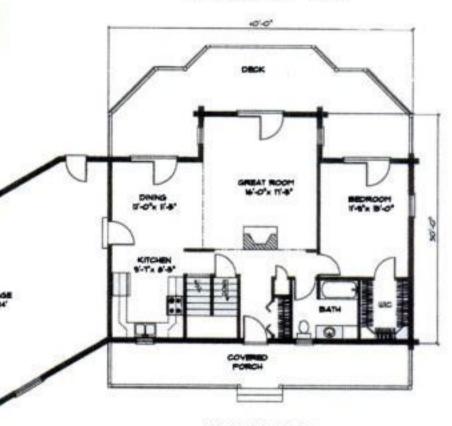
Part of that former garage space was also used to create a utility/mudroom, which was not included in the Mountain View.

Finally, because we used the Mountain View's only first-floor bath to create the Double Eagle's master bath, we added a powder room just off the kitchen, between the dining room and utility room. This space went through several transformations before we had a design that preserved the utility room, created a suitable water closet and placed them both in convenient proximity to the garage entry and a service entry off the rear of the home.

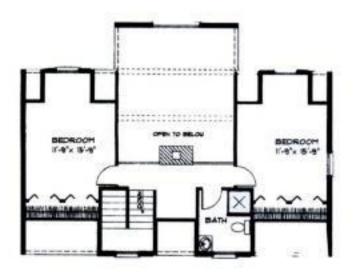
Upstairs, no changes were made to the original Mountain View plan, though the bedrooms and catwalk gained space due to the Double Eagle's bigger footprint.

The end result of all of our changes: a 2,377 square foot home (opposite) named after the company that designed it and its special place on Lake Arrowhead's championship links.

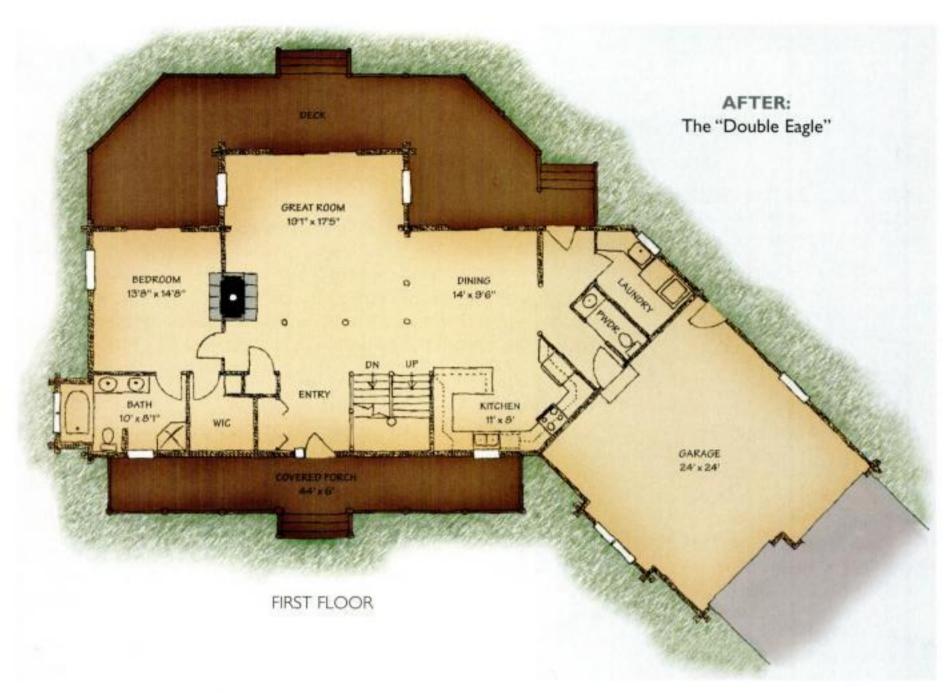
BEFORE: Golden Eagle's "Mountain View" plan

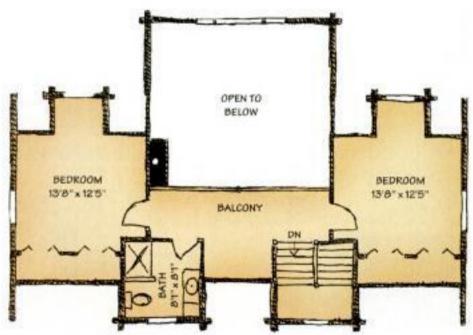


FIRST FLOOR



SECOND FLOOR





SECOND FLOOR

THE DOUBLE EAGLE AT A GLANCE

Footprint:	
First Floor:	1,589 sq. ft
Second Floor:	788 sq. ft.
Total Living Space:	
Basement:	1,589 sq. ft.
Garage:	600 sq. ft.
Porch:	264 sq. ft.
Deck:	544 sq. ft.
3 bedrooms	• 2½ baths
2-way gas	fireplace
first-floor	laundry

KNOW YOUR LOGS

How much should you know about the logs you're buying? Everything!

The truth is, nothing can affect your home's appearance, stability and longevity as much as the logs themselves. Each wood species, for instance, has its own set of visual characteristics. Some woods are heavily grained and knotty while others show little grain and have a fine, smooth surface texture. The heartwood of some species exhibits itself in bright, clear tones while others are more dull and mottled. Colors can range from white or light yellow to red or reddish brown.

Don't go thinking this is just a cosmetic issue, either. Sure, you need to consider how your logs will look, how they'll accept stains, sealants and preservatives, even how they'll age or 'weather.' But you also need to remember their main function: to create a stable, livable environ. Talk to log suppliers about their wood species' vulnerability to insects, learn as much as you can about proper finishing methods so you can prevent decay, and always, always ask about shrinkage and moisture content.

There are more practical considerations, as well, including weight. This will affect usability (Do you need heavy-duty cranes at the job site or can good old-fashioned manpower handle most of the log work?) as well as engineering (Do you have to engineer your foundation and support systems to accommodate an unusually dense, heavy wood species?). And any budget-conscious homeowner will want to understand a log's thermal characteristics, including how thermal mass affects its natural insulation qualities and how that translates to R-value (a measure of a material's resistance to heat transfer).

THE LOG

Golden Eagle Log Homes has built its reputation on building \$130,000 to \$400,000 homes, homes company officials call "affordable and attainable." The Double Eagle falls into the upper end of Golden Eagle's portfolio.

Golden Eagle does about half its business using its split-log systems, which feature half-log walls wrapped around 2x6 insulated walls. The Double Eagle, however, features the company's double round full-log system. There was little doubt full-log was the way to go for the Double Eagle project.

"We chose our 8x8 double round peeled-inside-and-out full-log construction for the first floor of the home," Jay Parmeter says. "The garage, dormers and gable ends are our matching split log applied over a 2x6 insulated wall."

Trees for the 8x8 logs were harvested in the winter of 2000 and air-dried until the fall of 2001. The logs were cut from the heart of white pine that had been dried to 19 percent moisture content at the heart. Golden Eagle then ran them through a log planer and peeled them.

Both sides of the logs were planed with a round profile while the top edge was routed with a groove to accept a foam gasket sealant. The logs were finished with an optional machine-peeled surface inside and outside, a detail Golden Eagle project manager John Batzer says is important.

"The super round series has our deepest profile, the boldest curve," Batzer says. "It's cost effective because of its uniformity ... yet the machine peeling gives it a rustic look." A butt and pass corner system (below) completes the logwork detail on the home.



MONEY MATTERS

Financing a log home is certainly more involved than any discussion we can provide here, but there are a few basic tips you can keep in mind as you approach the financing process:

All lenders are not created equal.

Simply put, many lenders are not qualified to finance your log home project. Unless they have experience financing log homes or other systems-built construction, a lender is unlikely to understand the special circumstances surrounding these projects.

Conversely ...

Some lenders know their logs.

A handful of lenders have set out to become experts in the log home field. As a result, they understand that you'll need to make a good-sized draw on your loan when your logs are delivered. They know how to find comparables near your building site. And they're familiar with the Marshall & Swift Log Home Appraisal Guide.

Get organized. Be prepared.

Here's one area where your log home financing process will mirror the process for financing a stick-built home. Every lender, no matter the type of loan or construction, will require certain documentation before, during and after the loan signing. (See page 79 of our January 2002 issue for a complete list.)

Be realistic.

Define a clear and detailed budget, determine how much house you can afford, then compare the two figures. Order copies of your credit reports and do what you can to improve your financial situation. Determine what you want in the home before you start designing to avoid costly changes to your plans.

THE PRE-CONSTRUCTION PHASE

Obtaining property is perhaps the most daunting pre-construction task you'll tackle. With the selection of Sawgrass lot number 83 (see page 51) for the Double Eagle, we were ready to move on to the next step.

In typical residential construction, this might be the point where you would begin to research financing. Our situation with the Double Eagle was a little different, of course, but we've listed a few considerations in the sidebar at left. You'll also want to research insurance at this stage. Consider adding builder's risk insurance to your existing homeowner's insurance policy if your carrier offers it and be prepared to obtain proof of workman's compensation insurance from all of your contractors and subcontractors.

Many other details were to be handled before work on the Double Eagle could get underway. Golden Eagle had to follow the same procedures as any homeowner. This included applying for building and sanitary permits from the county and local township. The company also had to fulfill some requirements unique to the Lake Arrowhead development.

The Lake Arrowhead Association has stringent building codes and covenants in place to protect the development's aesthetic and architectural integrity. Before construction could begin, the association had to approve color schemes for everything from the log stain to the roofing material.

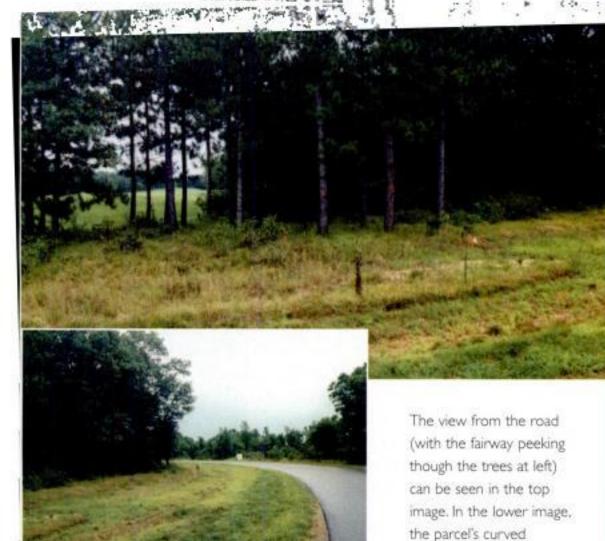
All the while, Golden Eagle builder Bob Strosin was busy behind the scenes. His first task was staking out the house on the property. The home was eventually sited further west than originally planned, slightly closer to the street, to save trees and get the golf course views just right. As a result, the Double Eagle's footprint was amended to set the garage at an angle more conducive to the lot's shape.

NEXT:

Phase 2: Site work, water systems, the foundation and the subfloor. See page 122 for sources.



Views of the 18th green, pond and fairway on Lake Arrowhead's The Lakes Course.



Photos Courtesy Golden Eagle Log Homes

THE SITE

frontage.

Golden Eagle Log Homes had purchased a lot in the Lake Arrowhead development and was ready to break ground on a spec home when Log Home Design Ideas approached the company about building a showcase home. Everyone quickly came to the conclusion that Golden Eagle's property wasn't quite the right fit for the project.

The original lot was narrow but deep and wouldn't accommodate a home of the Double Eagle's size. When it became clear the Mountain View plan would form the basis for the Showcase Home's footprint, it was easy to choose a new lot: number 83 in the Sawgrass Addition of the Lake Arrowhead Development.

In touring the development, both Golden Eagle and LHDI staffers concluded that lot 83 had everything the project required. The parcel is on a corner and features rounded road frontage and views of the 18th fairway, green and pond on The Lakes Course. An added bonus is easy access to the course clubhouse, just visible through the trees across the road.

In addition to its generous size, the parcel's shape offered an almost perfect fit to the Double Eagle's design (see pages 48 and 49), which featured an attached garage set at an angle to the home. It was also covered with trees — not too many but not too few — and had a natural clearing that meant few trees and little brush would have to be removed to accommodate the home.

The property's most obvious benefits lie in its proximity to the golf course, which enhances its initial value and will boost the home's resale value.

LIVE WHERE YOU PLAY, PLAY WHERE YOU LIVE

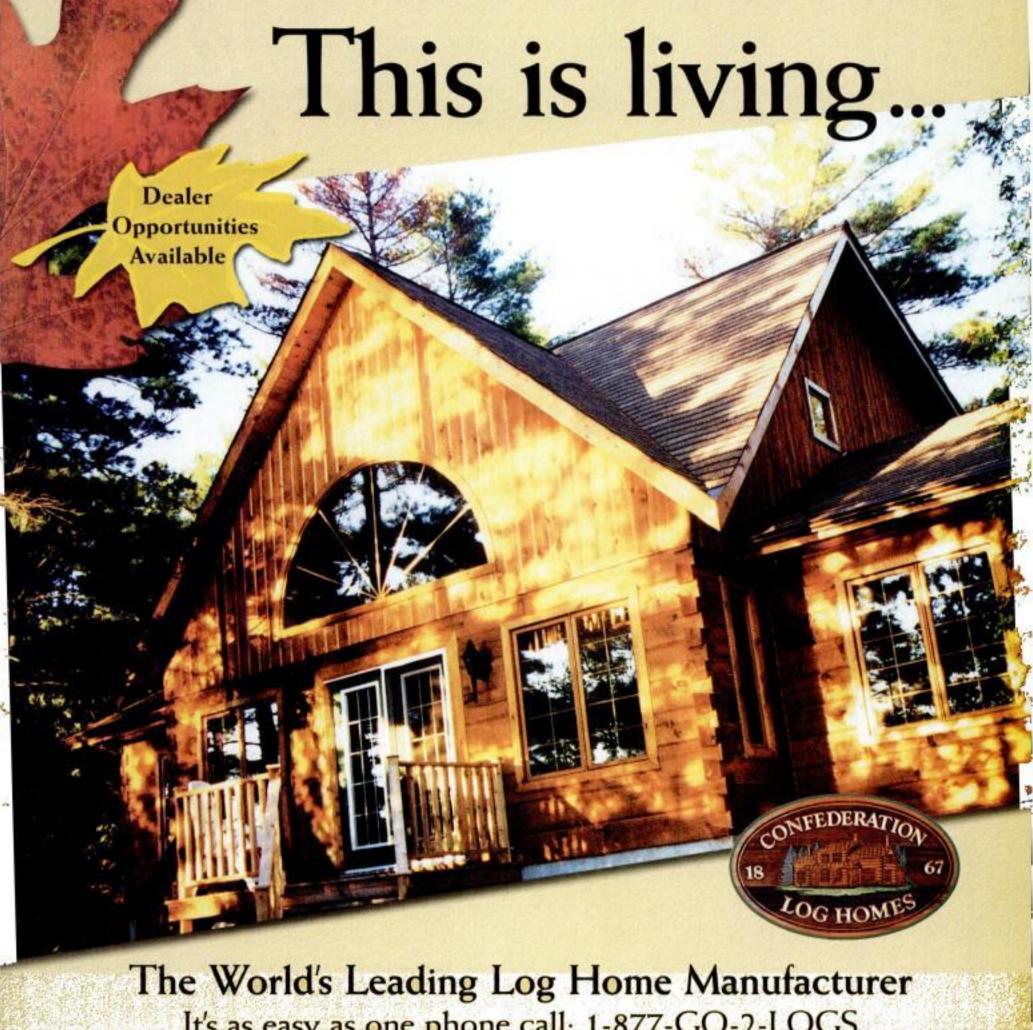
Lake Arrowhead may not be as well known as Door County or Wisconsin Dells when it comes to Wisconsin getaway areas, but perhaps that's the best thing it's got going.

"Lake Arrowhead is one of Wisconsin's premier playgrounds," says Al Schmidt, broker at the Lake Arrowhead real estate office. "There are plenty of activities for people of all ages and interests."

Located a few hours from Madison,
Chicago and the Twin Cities, the community
offers land activities (golf, hiking, snowmobiling) and water recreation (swimming,
game fishing, water skiing) for all seasons.
And it boasts some of the prettiest,
quietest real estate around.

"When compared to other recreation areas in the state, the cost of Lake Arrowhead property is very reasonable," Schmidt says of the development's golf course, waterfront and woodland home sites. "Half-acre wooded properties on The Lakes Course are priced from \$16,900 to \$46,900, a tremendous value in today's golf course property market." He adds that vacant waterfront property commands prices in excess of \$100,000.

Lake Arrowhead itself is 300 acres and features private beach centers, three boat launches and a marina, though championship golf is the biggest draw. The Pines, the original layout featuring secluded ponds and oak forest, was recently joined by The Lakes Course. Tucked among tall pines and lush woodlands, it is this course that the Double Eagle overlooks. Other amenities include a recreation center/clubhouse, ski center and outdoor sports center, all offered to Lake Arrowhead members.



It's as easy as one phone call: 1-877-GO-2-LOGS or visit our Web site at www.confederationloghomes.com

Please send me: Full-colour catalogue with 30 illustrated designs. I enclose \$15.						
C	talogue on CD Ron	n. 1 enclose \$7.50.	Catalogue & Video. I enclose \$20.	Dealer Package. 1 enclose \$25.	企业通	
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Golden Most Complete Home Package

Golden Eagle Log Homes, Inc.

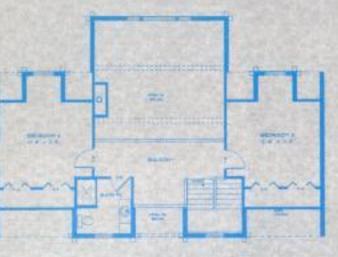
is your log home company if you are planning to spend between

\$130,000 to \$400,000 on your new log home

We specialize in affordably priced, high quality homes; in fact, most of our homes built in 2002 were under \$250,000.

There are plenty of log home companies that sell million dollar homes-so do we, but our specialty is homes ranging from \$130,000 to \$400,000. You can look to us for high quality, energy efficient custom designs.

The Double Eagle model shown at right is just one of our many standard models, and we offer a custom drawing service as well.



Double Eagle 2,377 Sq. Ft.

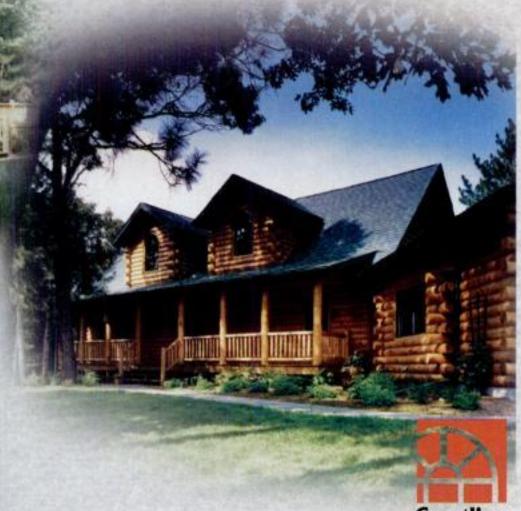
SHOWCASE HOME

Reward yourself ...

You have worked hard for your money, therefore, before you buy, do yourself a favor and check our Web site at: www.goldeneagleloghomes.com or send \$5.95 for our 68-page floor plan and price book or \$15.95 for the 26 minute video. You'll see we have many styles with lots of options to design the log home of your dreams. We would like to show you that it is possible to build a beautiful log home at a very affordable price.

4421 Plover Road

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Crestline Windows & Door

We mean what we say ...

Other Companies talk about having the Most Complete Log Home Package, only Golden Eagle Log Homes does.

Why would you settle for an incomplete Log Home Package?

One-Stop Shopping

What's Included In The Package?

The Golden Eagle standard package includes material from the basement posts though the roof shingles. We have listed it here for your review: Kitchen cabinets and vanities are either hickory or oak. Medicine cabinets are lighted, hickory or oak. Countertops for the kitchen as well as marble tops for the bath are furnished. We also include a lighting allowance of \$850 to cover the lights, ceiling fans and bath fans

The fireplace is a Heatilator unit, including the log mantle. The plumbing provides for a stainless steel kitchen sink, all faucets, one-piece tub and shower modules, Whirlpool tubs and insulated Mansfield toilets (even the seat). Knotty pine bevel trim for base, casing and trim is included, as well as knotty pine tongue & groove boards for the cathedral ceilings. The interior doors are 6-panel solid pine pre-hung units. All locksets and deadbolts are included along with closet shelving, closet rod and brackets, handrails, handrail brackets and log tie beam brackets are standard.

Our exterior doors are insulated Therma Tru; windows and patio doors are Crestline aluminum-clad with Low-E argon-filled insulated glass available in green, red or brown. Even the round or triangular units shown are part of the package, we even extend the jambs to fit each wall finish in the home!

The stairs to the basement and the loft are included; all stringers, risers, treads and hand-peeled log railings are there for both the stairs and the loft edge. If your home has a garage shown, it's part of the package! It will be split log, contain all the windows, doors, insulated overhead door, jamb seal and a 1x6 pine jamb.

insulated overhead door, jamb seal and a 1x6 pine jamb.

The floor system is included for both the first and second floors. We provide all the main beams, joists, bridging, 3/4" T&G subfloor sheathing, even the glue for the subfloor. The walls will be either full log or split log (your choice). All the lumber, headers, log dowels, log caulk, vapor barrier, Tyvek house wrap and log screws are part of the package.

The roof system includes the ridge beam, rafters (or trusses), lookouts, subfascia, full ½" sheathing and 24" overhangs. We provide vented soffit and fascia in green, brown or red; 30-year laminated shingles, ASTM-rated felt, and the hand-peeled log tie beams for the great room in lofted homes. Insulation is included for the walls, ceiling, & box sill. We even know enough to provide the attic vents and shingle over the ridge vent. If you have a covered porch not only is the roof included but also the treated floor deck and log railings.

The basement bearing walls or FHA jack posts, treated sill plates and sill seal insulation are provided. For fasteners you will receive all the joist and rafter hangers, log fasteners, flashings, rafter straps, rafter and truss tie downs, H-clips and soffit nails. As you can see we really have it covered.

We will supply you with as many blueprints as you need. Delivery is included within 250 miles of our plant, we even send our boom truck so you don't have to unload. Over 250 miles the actual cost for trucking will be added, unloading is by the builder.

Double Eagle typical completed log home cost.

 Log Home Package-8" "D" Full Log 	\$123,314
	\$6,166
Building Permit, average	\$500
Dig Basement and Backfill	\$3,500
Basement and Flat Work	
Wood Deck	\$6,184
Plumbing Labor	\$9,700
· Heating, Furnace, A/C; labor & materials	\$9,300
Electrical Labor	\$8,900
Floor covering; Carpet, Ceramic, etc	
Carpentry Labor, Complete	THE RESERVE OF THE PARTY OF THE
Interior Wall T&G/Drywall	
Fireplace Stone and Labor	\$5,920
Stain/Paint, material only	\$2,556

Total Budgeted Cost, Complete*\$292,490



HOME ON THE LINKS

Phase 2: Site work, foundation installation and the subfloor

BY TERESA HILGENBERG

Views of the 18th green, pond and fairway on Lake Arrowhead's The Lakes

Course (bottom left) dictated how the Double Eagle was situated on the lot.

The property's front edge follows the curve of Sawgrass Drive (top right); the rounded corner lot will accommodate an angled garage perfectly. Trees and brush will allow dappled views of the course (bottom right); as viewed from the course (top left), the brush provides just enough privacy from wayward golfers.

e have a building site, Lot 83 in the Sawgrass Addition of the Lake Arrowhead development in central Wisconsin. It offers wooded seclusion within a recreation community, views of the 18th green and pond on The Lakes golf course, and a shape that accommodates a long footprint with a garage built at an angle to the home.

We've put the finishing touches on the 2,377 square foot plan. We started with the Mountain View, a standard 2-story plan offered by Golden Eagle Log Homes, our partner in the Showcase Home project. The beefed-up final design includes almost 700 new square feet of living space and a first-floor master suite complete with a jetted tub.

And we've chosen Golden Eagle's 8x8 double round full-log system to build the home. We are ready for construction.



The final design of the Double Eagle is slightly larger than the original Mountain View plan we started with but features the same angled garage. Though it was a design challenge that affected site selection, the garage design was key to upsizing the kitchen and other spaces inside the home.

PERMIT PROCESS

Before construction could really get underway, the site had to be prepared. But before that could happen, we had some paperwork to handle. Permits had to be secured.

"You can knock down trees but you can't dig holes before getting the permits," says Golden Eagle project manager John Batzer. Before anything else could happen, Golden Eagle had to visit:

- The Town of Rome, to get the sanitary permit for the septic field.
- The Lake Arrowhead Homeowners' Association, which had to approve how the home was sited (see details on page 51) and a number of other items dictated by the development's covenants. "They had a say in what color it is," Golden Eagle construction manager Bob Strosin offers. "For example, we couldn't have white. We had to have natural earth tones."

This step obviously won't apply to most log home projects, but Strosin says it's the kind of thing you need to be aware of. "Things can get delayed fast. In the winter, they don't meet often," he says. At Lake Arrowhead, however, the building inspector will not issue a building permit without the Association's blessing.

 The Building Inspector, who required the name and license number of the general contractor (in this case, Golden Eagle Log Homes); the sanitary permit number; the names of the plumbing, electrical and heating subcontractors; and a copy of the energy audit. (The State of Wisconsin requires this document, which shows a home's projected heat loss based on windows, roof, wall insulation, etc.)

The home is about a half-mile from Lake Arrowhead, so Golden Eagle didn't have to get a water frontage permit from the Town of Rome. If you are building near a lake, river or other body of water, your bank may require a floodplain investigation as well.

With the stage set, it is time to clear and excavate the site.

THE PERFECT FIT

It's like the old chicken and the egg conundrum: which came first, the design or the lot? In the case of the Double Eagle, it was the property that came first, the home design second ... sort of.

Designing the Double Eagle and choosing a piece of property went hand-in-hand. Neither really came first, although we did start out with a fairly good idea that Golden Eagle Log Homes' Mountain View plan, with its garage angled to the home, would form the basis for our home's basic footprint.

With that in mind, we drove through the Lake Arrowhead development with Golden Eagle project manager John Batzer. We viewed over a dozen lots, but none of them really seemed to fit until we saw Lot 83 in the Sawgrass Addition. Besides a great view of the 18th green, the lot had an attractive curved front boundary, a nice mix of trees and brush and, best of all, the perfect shape to accommodate a long footprint like the one we were considering. Some of the parcels at Lake Arrowhead are narrow, but as Batzer says, Lot 83 was a perfect fit.

"Because it's a corner lot, it allowed us to do more with the land," he says. "I tell customers you really need the land before you can totally design a house." And that's what we did.

SITE ACCESS

Accessing property is one of the most important parts of building a log home. Often, homeowners take it for granted that their site is immediately ready for the log trucks to come rolling in when in fact nothing could be further from the truth.

As your contractors will tell you, there's no point in planning for a January start if your access road is covered with 20 feet of snow all winter. Not only do you have to think about weather conditions (snow, flooding, rain and mudslides), but you also have to consider the width of the road (log trucks and flatbeds hauling backhoes, bull-dozers, cranes and other heavy equipment require extra room for the simplest maneuvers). Durability is another key issue; in addition to being big, those trucks are also heavy. If you're building in the mountains, you'll need to make sure the road isn't too steep or curvy. No matter where you're building, you should check for power lines and other objects that may obstruct access.

Once you're certain you can get to the site, you need to make the property itself accessible. That means installing a road, usually on or near the same location of the final driveway. Golden Eagle Log Homes project manager John Batzer says you should plan for an access road that's "a good 15 to 20 feet wide, preferably with a hard base. You want a good, hard road surface." Batzer notes that much depends on your location and advises all homeowners to pay attention to their property's characteristics, especially soil content — sand, gravel and clay will each provide a very different road base. Trees and brush may need to be cleared, utilities may have to be moved, though that would be a more extreme situation.

For the Double Eagle project, access wasn't much of an issue. An asphalt road was already paved across the front of the lot and the site was fairly level. Central Wisconsin is famous for its sandy soil, but Batzer says that wasn't really a problem. "It probably took more room because the sand doesn't pile up nice when it's excavated," he says. "It spreads out. Otherwise, sand is actually pretty easy to work with." Gravel was brought in to create a short road on the property itself; later, it was used as the sub-base for the concrete driveway. Wisconsin's cold winter weather also helped; the frozen ground supported the heavy equipment with ease.



Heavy equipment — from backhoes to cranes — will have to access your construction site. Getting them there takes plenty of planning and even more patience during the pre-construction phase.

CLEARING THE SITE

Besides securing and filing the necessary paperwork, we had to check tree and brush removal regulations. Most homeowners try to preserve a site's natural features, but clearing the site has to be done with precise balance between regulations, practical working needs, safety concerns and the homeowner's desires.

In the case of the Double Eagle, tree and brush removal were strictly controlled by Lake Arrowhead's homeowners' association. The development's rules prevent tearing out brush unnecessarily. That meant the home's foundation had to be raised three feet above grade to access views of the green and pond.

It also meant that our desire to maintain the site's privacy was in concert with the development's regulations. In the end, excavating contractor Bohn Trucking had to destroy very little brush (only that which had to be taken out to accommodate the foundation) and removed about 30 small trees from the entire lot. Most of those were taken off the rear of the lot to improve the view of the 18th hole, green and pond.

Batzer reminds homeowners of this: Most excavators will want to pull out all trees within 25 feet of a house so they can pile dirt and get a bulldozer in close,

"A lot of people don't think about that," he says. "You say to people that you're going to clear out some trees and when they first see it without the house they go, 'Oh man!" He adds that the initial shock wears off as the project moves along and a foundation, then a shell, then a completed house fills the void.

"Most homeowners miss seeing that big hole surrounded by mounds of dirt," Batzer says. But when the house is done, "you see why the trees are removed. The whole site is filled with the house."

To ensure no more trees and brush were removed than necessary, Bob Strosin roughed out where the house would sit on the lot, using flags (around 10 in all) to mark each of the home's corners. This set the home's position in relation to trees, the future driveway and the septic field. The homeowners' association had to approve the location, which was eventually rotated 15 degrees and moved 10 to 15 feet to the west (closer to the front lot line/road) to create a buffer between neighboring homes and the house.

Most excavators will remove all trees within 25 feet of a house so they can get dirt and a bulldozer close to the foundation, according to Golden Eagle Log Homes project manager John Batzer. Even then, you can be discriminating when choosing what stays and what goes. Clearly mark any trees or brush that should remain intact before the backhoe goes to work preparing your site for the foundation.

WATER SYSTEMS & EXCAVATION

Municipal utilities are not available in the Lake Arrowhead development, so the Double Eagle uses both a well and a septic field. After clearing but before excavation is the ideal time to install both systems if they're being used.

It's a good idea to dig the well at this point for several reasons. If you encounter any problems finding potable water or good water pressure, you can likely adjust your home's site without major costs.

If necessary, you can delay installation of the septic field until later in the project. This will free up space for construction parking and materials storage.

With permits in hand and the site cleared, we were ready to get down to digging. Backhoes scraped, rammed and dug their way through mostly sandy soil. Topsoil was set aside so it could be replaced when the foundation was finished.

Throughout the excavation process, Bohn Trucking was careful to avoid overdigging. This was more than a cost-saving measure; it also kept the soil disturbance to a minimum.

The Double Eagle's site presented few excavation problems, but you may have to blast through rock, wade through wet muck or preserve animal habitats in your own project. Talk to your general contractor and excavating subcontractor about any concerns before you begin to dig.

SAFETY SMART

Worker safety isn't just a job site concern; as a property owner, it's also your concern. Make sure all contractors are insured and, depending on laws and regulations in your area, licensed. Your general contractor should take care of this, but you may want to confirm for your own peace of mind. It's a necessity if you're acting as your own general contractor.

As a homeowner, you may also want to increase your liability coverage; a work site attracts curious people and kids looking for a place to play. If they're injured on your property, you may be responsible.





When the backhoe begins excavation, you may be shocked to see a stark landscape emerge from your formerly tree-covered parcel. Don't panic; once your log home is built, that big open space will be filled. And if you still want more trees and other foliage, you can simply replace them during landscaping. Photos by Hafermann Photography unless otherwise indicated

FOUNDATION

BASICS



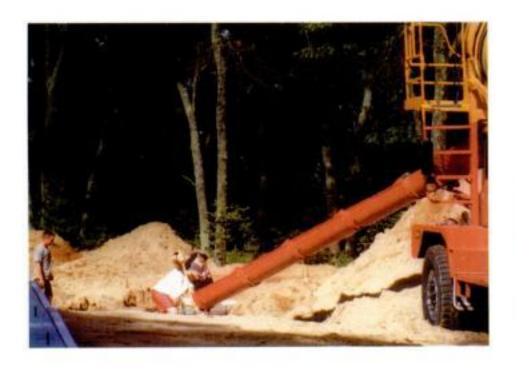
The cement truck, with its long arm and heavy load, is just one piece of equipment that will have to maneuver around your site during the construction phase. The site will have to be cleared to accommodate such equipment and maintain a safe working environment. If you're determined to save trees, you can rent a pump to move concrete to inaccessible spots on your site — but be prepared for additional costs.



Footings, the bottom of a foundation wall that comes into contact with undisturbed natural soil, are poured for the garage. Footings are usually twice the width of the wall to spread the weight load of the house over the entire foundation.



Workers spread and smooth cement as it pours into pre-constructed forms for the footings. The cement will be leveled and allowed to cure for several days before the footings are put to use.



Bolts are inserted every four feet (far left edge). They will secure the sill plate to the foundation and the subfloor will be attached to the sill plate.



With the home's ninefoot foundation walls in place, footings are poured for the garage. The home was raised about three feet above the natural grade to create the best possible views of the 18th green and pond.

SETTING THE FOUNDATION

If you're at all familiar with the basics of home construction, you know pretty much everything you need to know about foundations for your log home. You have the same design choices — full basement, crawlspace or concrete slab — and the same material choices — masonry block, poured concrete, precast concrete or wood — available to stick-frame construction.

Slabs are economical but limiting. You'll miss out on storage and living space, you'll be walking on concrete and you'll be forced to cut through that concrete if you want or need to make any changes. A **crawlspace** is another economical option but almost as limiting as a slab; with a crawlspace, however, you'll have a little more flexibility when it comes to storing and accessing mechanicals and you'll walk on a more forgiving wooden sub-floor.

The Double Eagle was built on a **full basement**, the most common choice among all homeowners. Basements are most often constructed of masonry block or of concrete poured into forms set on previously-installed concrete or masonry footings designed to distribute a home's weight load (for more about foundation materials, see "Foundation Alternatives" at right).

You shouldn't have to make any special considerations with your log home's foundation. The 8x8 full-log used on the Double Eagle is supported by standard footings and foundation; larger logs or greener logs may require a larger foundation. Snow loads, floor loads and soil type will also affect the size of your foundation. This was a sandy lot, so putting in the foundation was easy.

"If you're digging in gravel or clay, you may need to do more make a heavier foundation, use drain tile, install additional waterproofing," Batzer notes.

Rich Weiler Construction did all of the concrete work on the Double Eagle project, including the footings, foundation and drive-way. Weiler's crew poured the footings shortly after the basement hole was dug, then moved on to the 9-foot basement walls. Once the concrete forms were removed, the concrete walls were water-proofed and the basement was backfilled. The garage walls were poured next, the basement floor last. In this case, no drain tile was installed.

"The whole area is so dry, we didn't need to," Batzer says. "It's all sand there. With a wet site, you'll probably need to use drain tile." Batzer adds that local codes may require drain tile; in Wisconsin, state code demands installation of drain tile everywhere except where local building officials decide it's unnecessary.

FOUNDATION ALTERNATIVES

Once you've chosen the type of foundation for your log home — full basement, crawlspace or concrete slab — you have to choose a material. Your choices include masonry block, poured concrete, precast concrete or wood.

Foundations are most often constructed of poured concrete or masonry block. A poured foundation is just that: Concrete poured into forms set on previously-installed footings designed to distribute a home's weight load. (Footings can be constructed of masonry block or poured concrete.) The masonry block foundation is put together by masons who stack and bond concrete blocks with mortar.

Precast concrete foundations consist of slabs that have been formed and cured off site under controlled conditions and are ready to be set in place. These slabs are generally made with 5,000-pound per square inch (PSI) concrete (versus 3,500 PSI concrete in typical poured foundations) and have I-inch insulation and wood studs built into them. The precast panels may not require masonry footings (often a solid crushed gravel base is sufficient) and are installed with a small crane or lift. Most systems are bolted together and waterproofed with high-performance caulks.

Precast concrete slabs are available in 4- to 10-foot heights, making them perfect for crawlspaces or full basements.

Wood foundations have been around for years and are gaining popularity. They consist of custom-made panels constructed with studs and plywood specially treated to withstand rot, insects and fungilike the precast concrete foundation, wood foundations offer the benefit of conventionally-studded interior walls ready to be finished with drywall or paneling.

SUBFLOOR







Golden Eagle chose an I-joist floor system from Boise Cascade for several reasons.

"There are things you can do with them that you can't do with standard lumber," John Batzer says. That includes spanning longer spaces (the longest joist in the Double Eagle measures 32 feet), which in this case eliminated splicing. The I-joists also provide a "silent floor" considered by most to be superior to a conventional lumber floor.

Wausau Supply Co. cut the system based on detailed copies of the home's layout and floor system, which showed each beam, header and bearing point. Installation is fairly simple.

The system is constructed atop the bearing wall (photos 1&2), with the main beams traversing the outer edge of the foundation and spanning interior openings every 16 inches. From above (photo 4), you can see the top and bottom ridges that create the joists' I-shaped profile. Here, one of the LVL (laminated veneer lumber) main beams distributes the weight and stress load. Photo 5 shows the view from below. The almost-finished subfloor (photo 3) provides a neat cap for the foundation. The bumpout at right will accommodate a jetted tub in the master bath.



Phase 3: The logs are delivered and stacked, and the roof is installed.

See page 122 for sources.







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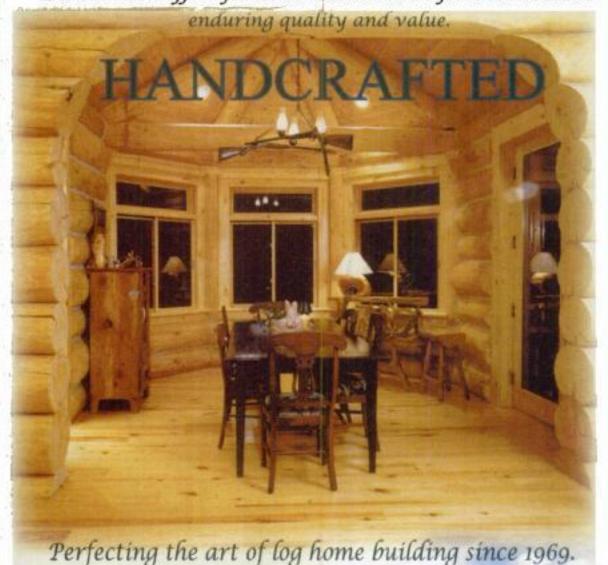
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HOME ON THE LINKS

Phase 3: The logs arrive and are put into place

BY TERESA HILGENBERG PHOTOS BY PAUL HAFERMANN PHOTOGRAPHY Te are now approximately three months into the project at the Double Eagle. We've secured the necessary permits, poured a concrete foundation and capped it off with an I-joist subfloor system. The site has been cleared for the pre-construction crews and is now ready for the logs.

Two trucks delivered the logs that would be used to build the 2,377 square foot home we designed with the staff of Golden Eagle Log Homes, project co-sponsor and general contractor. It was a rainy day when the logs were lifted off the truck at the golf course lot the Double Eagle was being built on. Cold temperatures and snow would arrive soon as Wisconsin hunkered down for another winter season.

But it would be a mild winter, at least in Wisconsin terms, and that meant an almost uninterrupted winter work schedule. To see how Golden Eagle staff and subcontractors made the log shell a reality, continue reading.

LAYING THE FIRST LOGS

Before the first course of logs could be laid, the interior walls, exterior doors and windows were mapped out on the subfloor. Pre-made 2x6 bucks (bottom left) took the place of doors and, later, windows. The bucks were checked for plumb and square before the logs were cut. Golden Eagle project manager Bob Strosin says it's better to take extra time laying out the windows and doors than leaving it to guess work.

"It will save you headaches down the road," he says. "It's better to spend an extra two to three hours on the layout than to spend more time pulling logs out later because it doesn't work."

Each 8-inch log was anywhere from 8 to 16 feet in length before being carefully measured and cut. A field-routed groove received a foam gasket to create a snug fit and a gasket sealant was applied to the groove to prevent air infiltration.

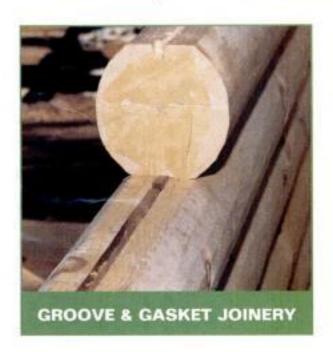
Each course was installed around the perimeter of the footprint before another course was started. Crews installed bucks (also plumbed and squared) when they reached window openings. At the corners, the logs were cut and notched to create a butt and pass system (bottom right). With a full-round profile, the logs extend about 2½ inches beyond the foundation.

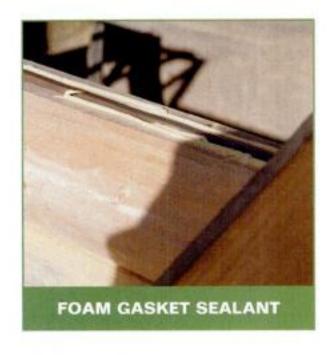
Precision was key throughout this phase. The walls were checked for plumb and level often. "It's easy to have a log slip and, if it's off % of an inch on the first row, it will be off by a number of inches later," Strosin says. If a log was off, the crew shimmed or planed it to fit. Strosin says it was important to watch each log, bottom to top, until the wall was finished. "You have to watch it to make sure somebody didn't come by and bump it or swing a log and hit something out of plumb," he says.

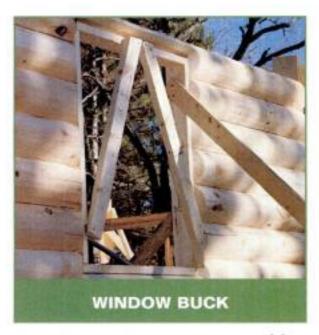
The number of door and window openings and the size of the crew — as well as weather — determine how long it takes to erect a log shell. At the Double Eagle, the log raising took a week with a four-man crew. Strosin says that's probably longer than most homes because of the plan's angles and jogs.

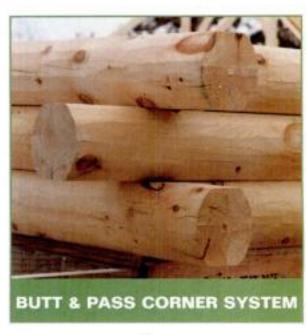


The view of what will be the front porch from the yard (above). Two full courses of logs have been laid around the perimeter:









JOINERY IS IN THE DETAILS

- A gasket sealant is laid between each course of logs to prevent air and water infiltration.
- B Caulk provides further protection against the elements.
- C The log is put into place.

 This log's position between an interior comer and a window means it requires an extra precise cut and fit.
- D Each log is checked for plumb and square before a 10" Blue Ox screw from Sashco is screwed through the stacked logs (The screws, which have a 1/4" washer head, provide the holding power needed to pull the logs tightly together). Even after it has been checked initially, the log will be checked a number of times to ensure a properly-laid course, Even the slightest bump can put a log out of plumb and create bigger problems later.

PUTTING IT TOGETHER: THE LOG RAISING

Golden Eagle's crew started the log raising in December, when cold Wisconsin weather presented extra challenges. Throughout the course of the log raising, snow had to be shoveled away from the work site and crews had to break to warm up. "We also had to melt snow in some areas where guys had to climb," Strosin says. Building in December in Wisconsin wasn't exactly ideal.

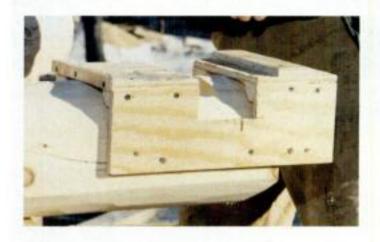
"You try to get the roof on before you get snow," Strosin says, adding that the

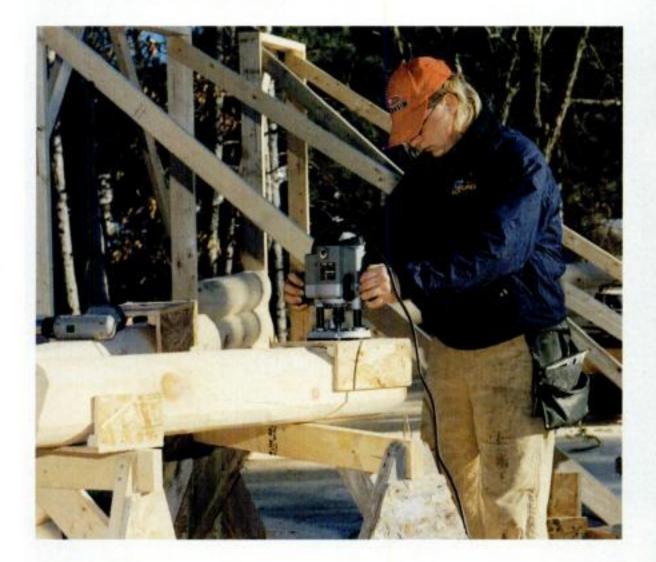
Double Eagle's steep roofline accumulated snow often — and prevented his crew from working on the upper level until the snow had melted.

The Double Eagle's angled design (the garage sits at a 45 degree angle to the home) presented other challenges, especially since the kitchen sits inside the angled walls. "It had to be laid out so the cabinets fit precisely, wall to wall," Strosin says. The unusual shape made for more intricate measurements. "With a regular kitchen, you go in and you're thinking

in half inches. But with this kitchen, we were measuring in eighths."

The bumpout that would eventually hold a jetted tub in the master bath also posed problems. It was finished with split log that matched the full logs used on the rest of the first floor walls and required a special corner cut to replicate the butt and pass corner found on the rest of the home.

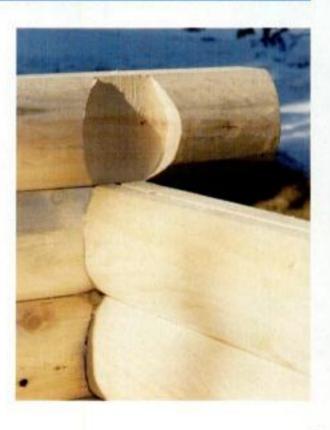




CREATING THE BUTT AND PASS CORNER

In a butt and pass corner system, a log is cut at the corner so it butts up against the adjacent log that passes through the corner. The position of the passing log and the butting log alternates with each course of logs.

Golden Eagle's butt and pass system differs slightly from others in that the butting log is actually sunk into the passing log. Golden Eagle's crew created a special jig (top) that forms the correct notching pattern when routed. The jig was placed on the log (above middle) so a router could make the notch. The notch on a passing log, ready to accept a butting log, can be seen above.



MEANWHILE...

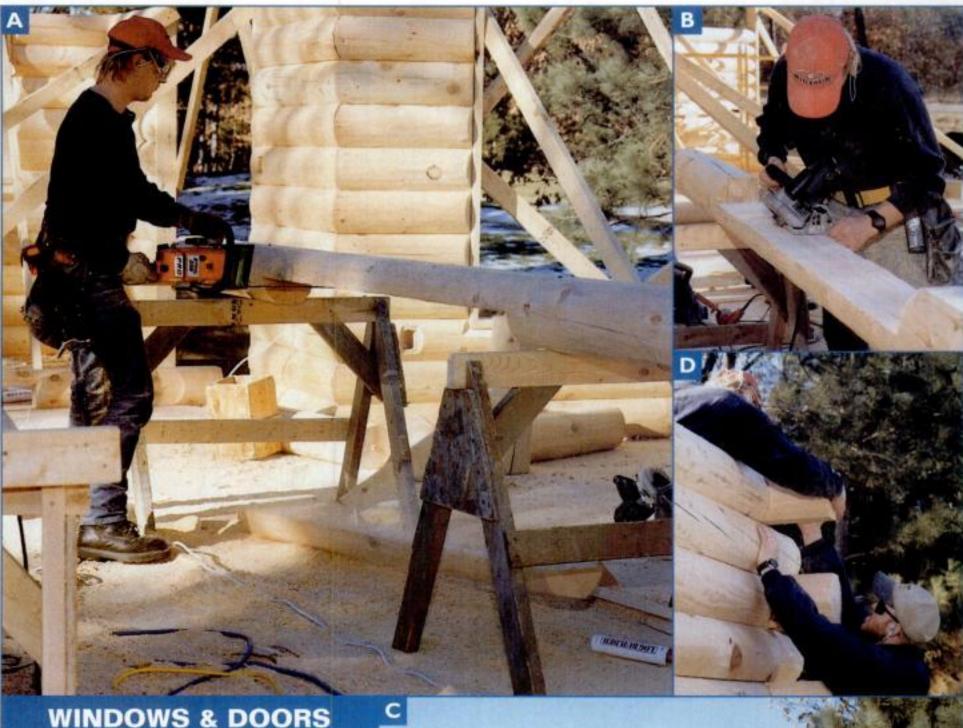
While Golden Eagle's crew was busy cutting and laying logs, plenty of other tasks were being completed at the building site, including:



Installation of electrical outlets. This GFI (ground-fault interruptor) outlet was installed early on for the construction crew. Holes for each outlet and switch had to be notched into the logs before electricians could install the boxes and wiring.



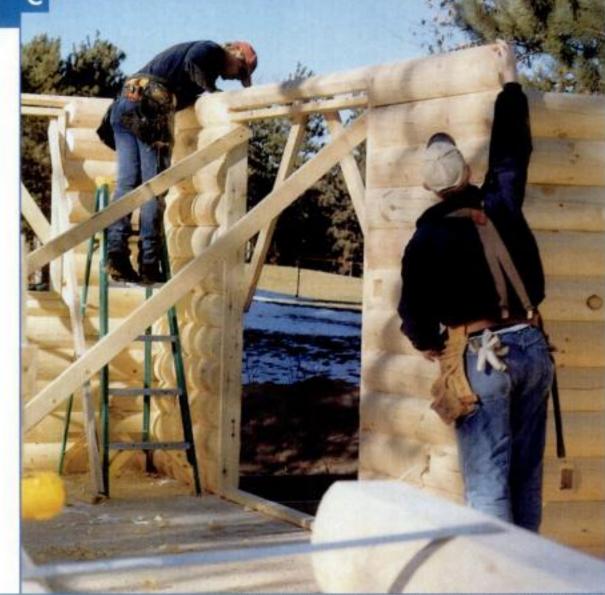
Installation of basement egress. Large terraced window wells were installed outside a pair of full-size basement windows. The wells will accommodate easy exit from the finished basement. Nine-foot walls in the basement made the full-size windows possible.



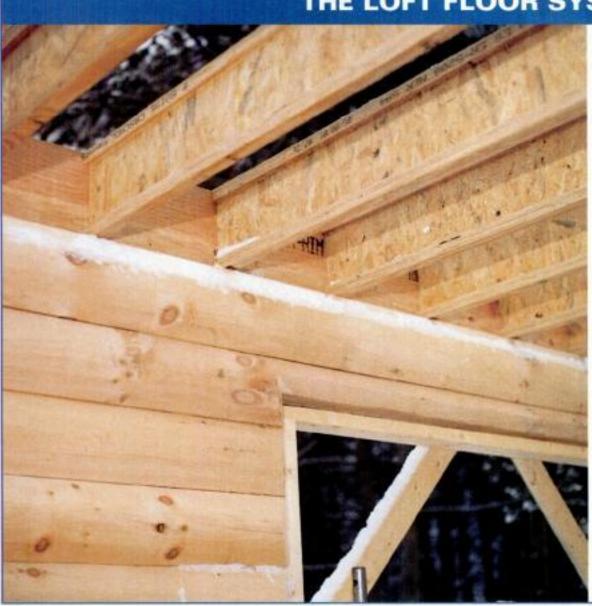
WINDOWS & DOORS

Logs had to be "ripped" around most window openings. While bucks were installed to frame the window and door openings, the logs that would run above them had to be cut to allow room for future settling. The process of creating and installing a ripped log is fairly simple:

- A chainsaw is used to cut a pre-marked notch in the log. The length and height of the notch is determined by the size of the window or door.
- B The notch is beveled to create a smooth, clean surface.
- C The ripped (notched) log is set in place over the buck; in this case, the opening is for a sliding door. Space between the log and the buck (2x6 frame) will allow for settling.
- D With the ripped log in place, the adjacent log is set in its place to form the butt and pass corner.

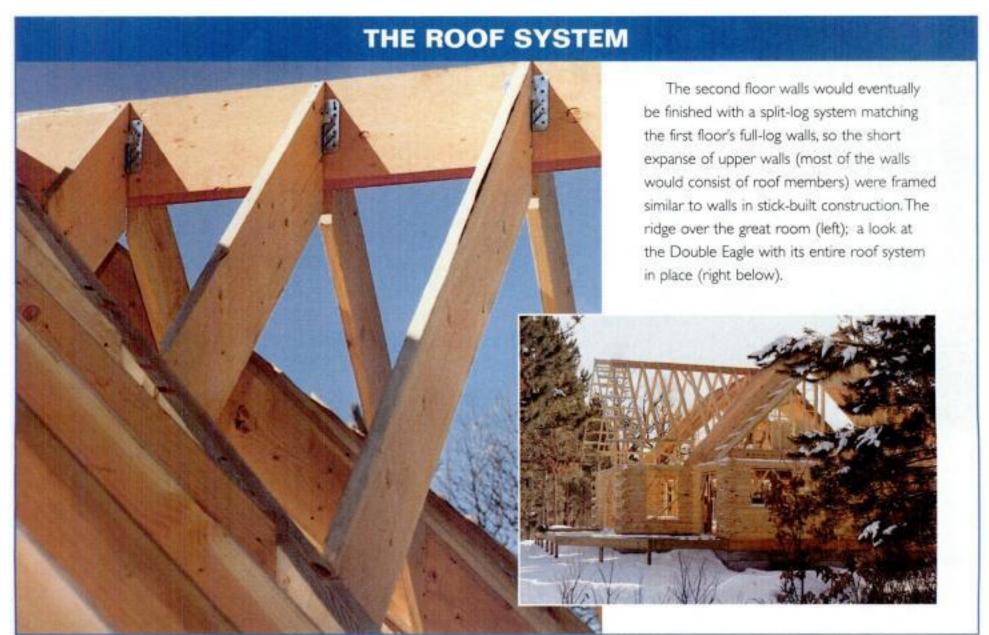


THE LOFT FLOOR SYSTEM



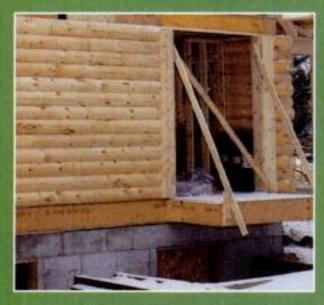
The loft floor system was installed after the first floor logs were in place. An I-joist system from Boise Cascade was set directly on the top course of logs (left). Large steel connectors brace the I-joists at various intervals to carry and distribute the roof loads; 4x4 posts support the loft floor system until partition walls are installed (below).





MEANWHILE...

While Golden Eagle crews were finishing the second floor walls and roof systems, other crews were:



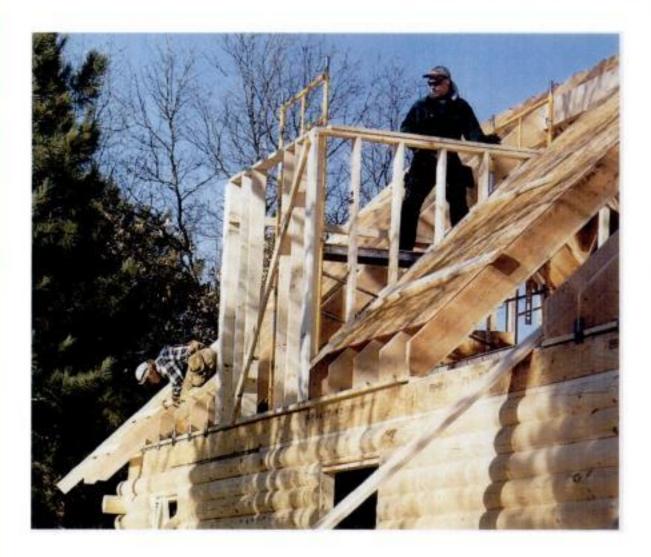
Framing a bumpout. The cantilevered bumpout in the master bath was designed to hold a jetted tub. The bumpout added less than 20 square feet to the bath area but kept the space open and allowed for the installation of a separate shower.



Installing tie beams. Two large tie beams span the cathedral ceiling over the great room.



Installing windows. This window, installed in one of the loft bedrooms, was added to the plan to meet building codes.





FRAMING DORMERS

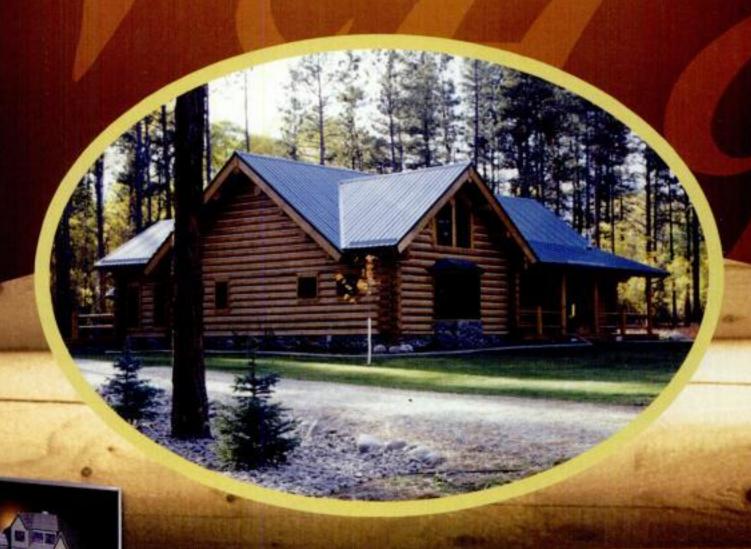
Once the roof system was in place, the Double Eagle's four dormers were framed (top). The finished dormer (above) was topped with the same shingles as the rest of the home.

NEXT:

Phase 4: A roof, windows, doors and high-tech insulation make the Double Eagle weatherthight.

See page 122 for sources.

C ew Home Journal recognizes log home building as a significant industry trend in the new millenium.



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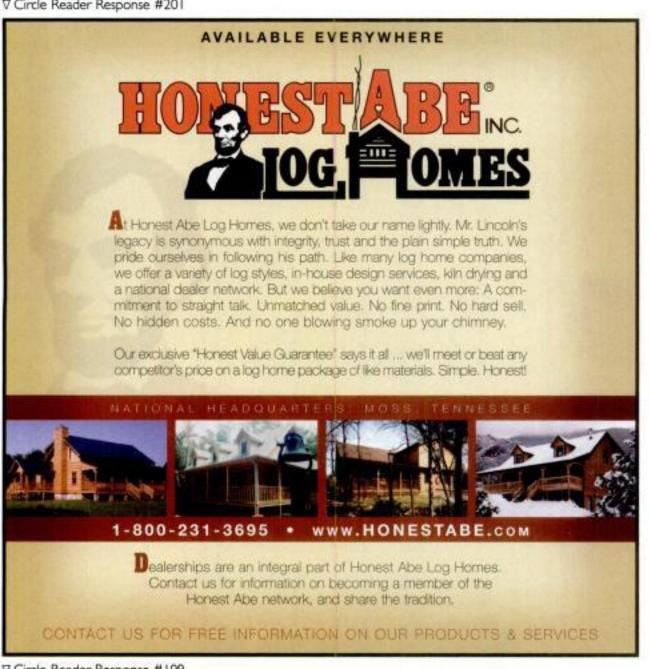


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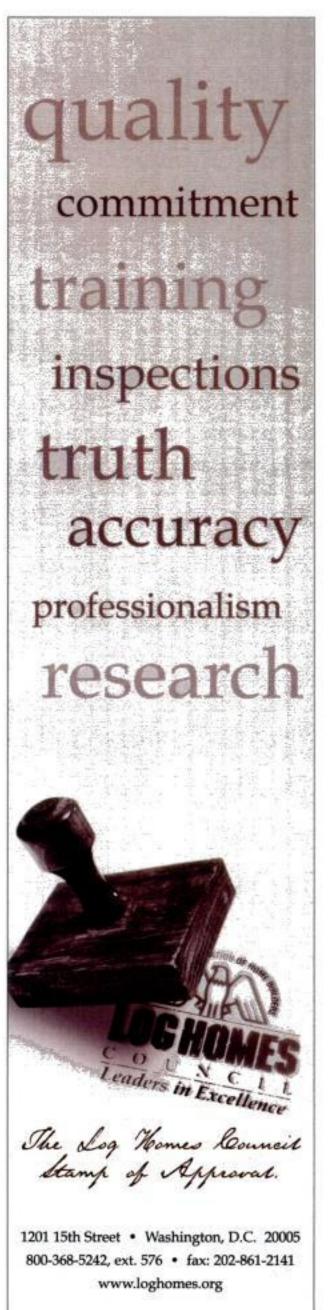
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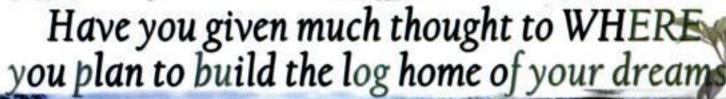
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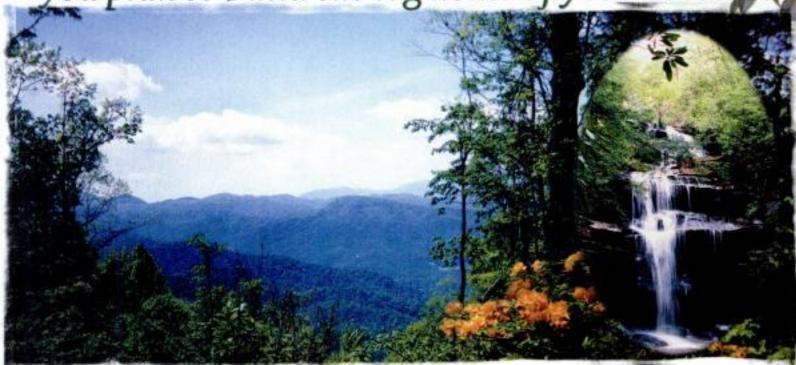
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HOME ON THE LINKS

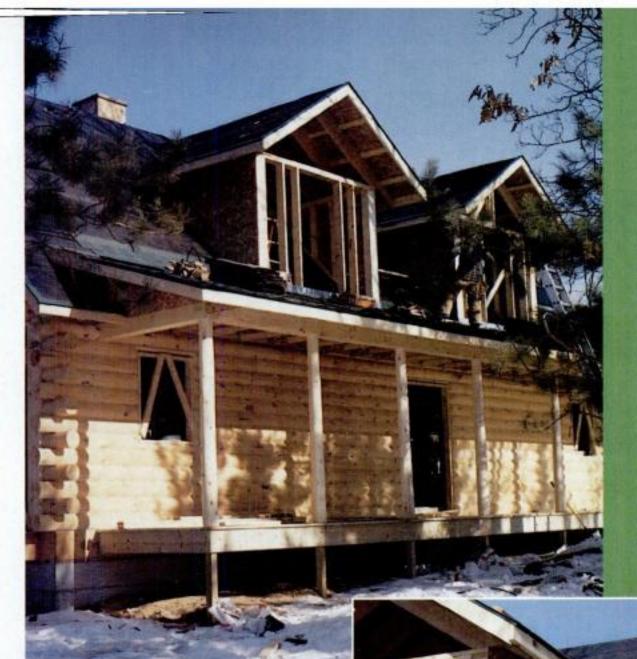
Phase 4: A roof, windows, doors and high-tech insulation make the Double Eagle weathertight

BY TERESA HILGENBERG
PHOTOS BY PAUL HAFERMANN PHOTOGRAPHY

Eagle is a log shell topped off with a roof system. It is ready for shingles which, along with windows and doors, will make the house weathertight.

Over the next few weeks, crews will work hard through cold Wisconsin weather to install the windows and doors, shingle the roof, insulate the basement and roof, and begin forming the interior partitions. After several months of planning and site work that produced little tangible progress, it feels like the project is finally moving along.

The construction of your log home should progress in a similar fashion, depending on weather and other variables out of your control. Remember one thing, however: most people are still planning at the 5-month mark. To accurately compare the Double Eagle experience to what you can expect building your own log home, separate the planning stage from the construction stage. We spent little time planning compared to most homeowners, but our construction timeline, to date anyway, is holding true to the typical project.



THE ROOF

A local contractor, Dunn-Right Roofing, installed the forest green laminated fiberglass shingles from IKO Roofing Products.

The 30-year Cambridge shingles have a shake-look appearance and feature doublelayer construction and a modified sealant to resist tears and high winds.

The Double Eagle's roof pitch posed a challenge, especially over the great room, where a steep slope forced the roofing crew to maneuver with extra care. The extreme slope also meant an asphalt felt underlayment was necessary to meet Class A fire resistance ratings.

Forest green, one of 10 colors in IKO's color-blended Nature's Accents series, complements the home's wooded setting. The color selection also met Lake Arrowhead covenants, which require natural-toned color schemes on all homes built in the development. Matching green soffit and fascia would be installed later.

Working in the dead of winter (top), the roofing crew had to remove ice and snow from the underlayment before laying shingles. The green shingles from IKO Roofing Products (above) have a shake-like appearance.

ROOF OPTIONS

Your Options Include:

ASPHALT SHINGLES. The most common roofing material in the American steep-slope market, asphalt shingles last 20-30 years and usually have three sections or 'tabs' per shingle and an overall length of three feet. They are reinforced with either organic or fiberglass materials. The IKO Roofing shingles we used on the Double Eagle are fiberglass-reinforced and rated Class A, the most resistant.

WOOD SHINGLES AND SHAKES

Made from cedar, redwood, spruce or Southern pine they last about 30 years. Their natural appeal makes them popular in California, the Northwest and the Midwest. Hand-split shakes have a rough, textured appearance and a smooth back; wood shingles are machine-sawn to be smooth on both

sides. Some building codes limit the use of wood roofing products because of fire safety concerns. Most are rated Class C or have no rating at all; a Class A rating is only possible if the products are finished with a factory-applied fire-resistant treatment.

SLATE (STONE) SHINGLES.

Slate can last more than 100 years. Weighing in at 700 to 800 pounds per 100 square feet, it is three times heavier than asphalt, is more difficult to work with and less forgiving because it breaks easily, and requires special skill to install. Slate is available in many different colors and grades and is quarried in four states.

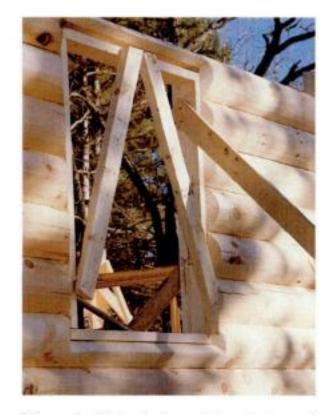
TILE. Available in clay or concrete, tile is heavy, durable and

practical, with a rugged but versatile appearance.

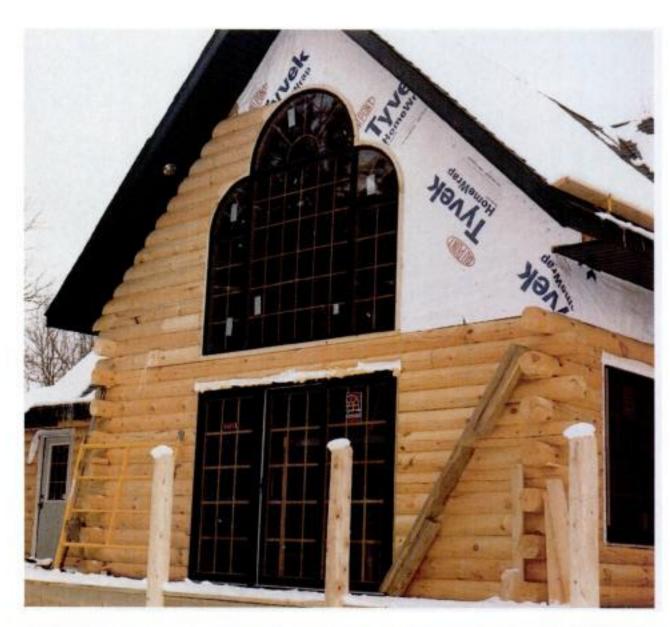
Tile is available in dozens of colors and finishes.

METAL. Primarily a low-slope roofing material,
metal is now being used on steep-slope installations
and is favored for its longevity — often up to 50
years — and its resistance to adverse weather.

Metal is available in panels and shingles. Shingles
simulate traditional roof coverings and are lightweight; some have the coveted Class A rating.



Pre-made 2x6 bucks framed the window and door openings while the logs were stacked.



WINDOWS & PATIO DOORS

Work at the Double Eagle was entering one of its busiest phases. While roofing crews were laying felt and nailing shingles in place, Golden Eagle's crew was installing half logs on the home's upper reaches and putting windows and doors in place.

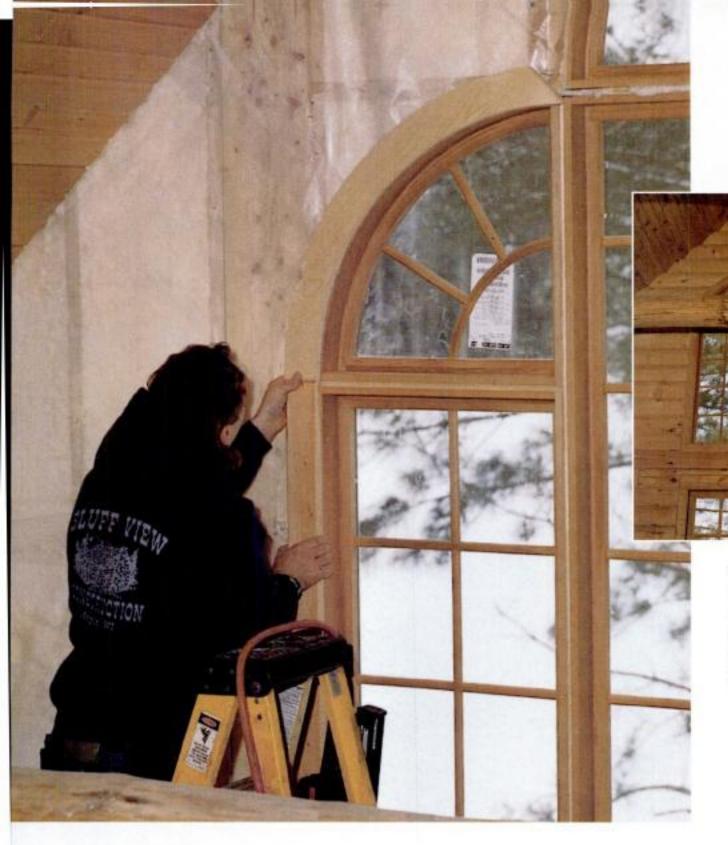
Crestline Windows & Doors supplied all of the windows and patio doors used at the Double Eagle. Like the shingles, the windows and doors have a dark green finish to complement the home's natural surroundings.

From Crestline's CrestClad series, the windows and doors feature select wood treated for weather protection and are fully weatherstripped. Aluminum-clad exteriors have a baked-on finish making them virtually maintenance-free. Insulated glass is enhanced by simulated divided lites.

The great room features a three-wide sliding door while the dining room and master bedroom have standard two-wide units. Most of the windows in the Double Eagle are double-hung, providing easy tilt-in cleaning and maintenance. Round-top specialty windows float above windows in the dormers and above the great room sliding door:



The green aluminum-clad exterior finish on the windows and doors (top) complements the shingles, soffit and fascia. The windows, shingles and half-logs were installed at the same time (above).



As the windows are installed, custom trim is cut to give them a clean, finished look (left). The natural finish on the wood interiors (above) works well with the log walls, tongue and groove ceilings and hickory flooring throughout the home.



In just a few weeks' time, the house had a finished, polished exterior.



ENTRY DOORS

Three insulated doors were installed in addition to the patio doors. Therma-Tru's ClassicCraft door with an attractive sidelight and stained glass-style detail welcomes visitors at the front door. It has a green exterior to match the others.

At the garage and rear/deck entrys, steel insulated doors also from Therma-Tru keep the elements at bay. A door just outside the utility room features a large glass window that brings light into the rear hall; the door at the garage entry is a standard 6-panel design.



- A The roof has been prepared and is ready to receive the foam insulation, which will be sprayed directly onto the pink foam panels lining the underside of the roof structure.
- B A licensed applicator sprays the liquid foam into the cavity; the foam thickens and expands almost immediately.
- C Foam is sprayed directly onto the plywood sheathing.
- After the foam has fully expanded and dried, a technician uses a simple hand saw to remove the bubbled edges protruding beyond the 2-by-6 framing.

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environmentally-friendly product. It is free of formaldehyde, volatile organic

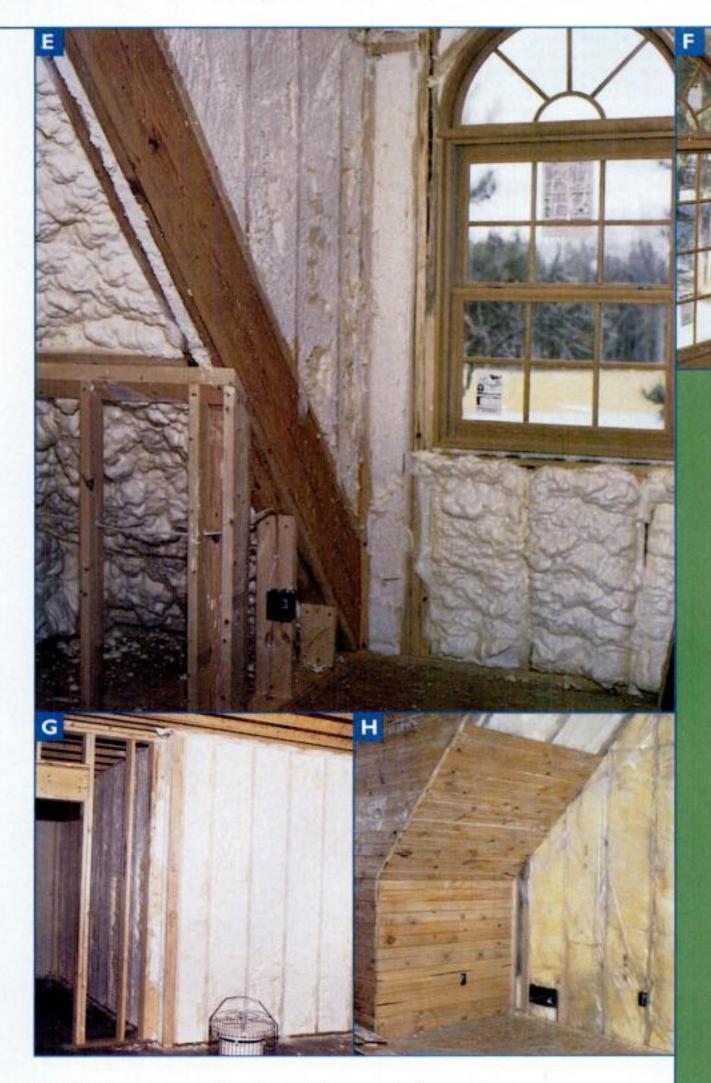
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chemicals, and testing has proven that it

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lems and chemical sensitivities.



- E The trimmed areas are flat and ready to be covered with any wallcovering.
- F Before half-logs, drywall or tongue and groove can be installed, the foam is covered with plastic.
- G The Double Eagle's basement is designed to be fully-finished, so we chose to frame and insulate the poured concrete walls.
- A handful of interior walls that had no backing (they were simply 2x4 framed partitions) were insulated the old-fashioned way, with traditional fiberglass insulation.

INSULATION OPTIONS

FIBERGLASS is made from molten sand or recycled glass and other inorganic materials. Fiberglass insulation is available in batt, blanket and loose-fill forms.

ROCKY AND SLAG WOOL

insulation uses natural rock and blast furnace slag as its raw material. Typical forms are loose-fill, blanket and board.

CELLULOSE is a loose-fill insulation made from paper to which flame retardants are added.

FOAM insulations are available as rigid boards or sprayed-in-place materials that can fill and seal blocks or building cavity spaces. Foams are also used in air sealing to fill gaps, cracks or openings.

Courtesy the Insulation Contractors Association of America www.insulate.org • 703-739-0356



Most of the first floor's stick-framed walls can be seen in this photo taken in the dining area looking toward the rear hall (above). The wall on the left (partially obscured by standing lumber) will be finished with half logs that match the home's full log shell.

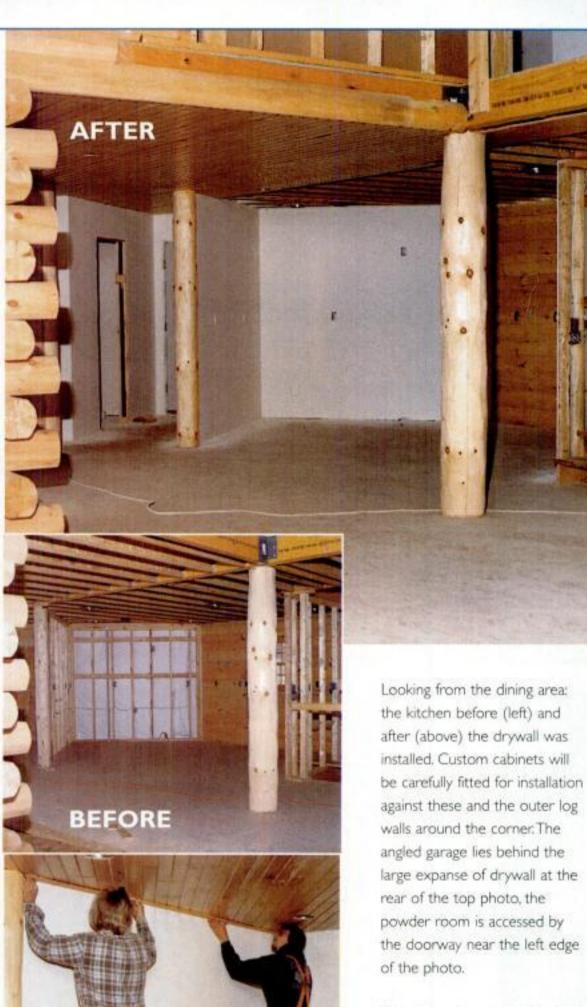
The bulk of the Double Eagle's drywall can be found in the basement (A and C), where all exterior walls and interior rooms were conventionally framed and finished.

INTERIOR PARTITIONS & DRYWALL

The Double Eagle has very few stick-framed walls. The walls that do feature 2x4 framing are spread lightly throughout the main and upper floors and are used just often enough to break up the wood found in the log walls, tongue and groove ceilings and hickory flooring.

The bulk of the drywall-finished walls are in the basement. The entire perimeter of the poured concrete basement was framed and insulated, then paneled with Sheetrock gypsum panels from USG Corporation. Destotell Drywall installed and finished the gypsum walls throughout the house. The drywall was installed as it is in any other home:

- A 4'x8' sheets are attached to studs with drywall screws.
- B Seams and holes are patched with drywall compound, then sanded smooth and wiped clean.
- C The drywall is primed and ready for paint.



Trim stained to match the tongue-and-groove ceiling was installed along the top edge of the drywall to give it a finished, polished look (bottom).

NEXT:

Phase 5: Protecting the logs, installing log stairs, plus the garage, HVAC and more.

See page 122 for sources.

TO DRYWALL OR NOT TO DRYWALL?

Many purists will tell you drywall has no place in a log home. It's a natural structure, they say, and should be built with all-natural materials.

That, of course, is a matter of opinion.

Whether or not you decide to incorporate drywall into your log home's design is a matter of personal preference and, on occasion, need.

Most homeowners we talk to say one of two things: they use drywall to break up and complement the wood tones in their home, or they couldn't think of introducing drywall into their home's design.

If you fall into the latter group, that's just fine. But if you are of the former mindset and feel a few painted and even wallpapered walls would be a pleasing addition to your home, don't feel bad. There is nothing wrong with using a variety of materials, natural or manufactured, in any home.

If You Choose Drywall, Keep A Few Things In Mind:

- Using drywall in high-moisture areas —
 the kitchen, the bath, the utility room —
 will eliminate potential problems with
 mildew build-up. If you do not use drywall in these areas, be mindful of the
 preventative maintenance required to
 keep your logs healthy and attractive.
- Using drywall behind cabinets will likely provide for easier installation.
- Drywall opens up a myriad of decorating and design options. Paint and wallpaper can bring a wealth of color, texture and pattern into your home and help define a theme or scheme.
- Hanging pictures is a challenge on round logs, yes, but not impossible, so don't believe those myths about not being able to hang pictures on log walls. You just need to adjust your hanging strategy.

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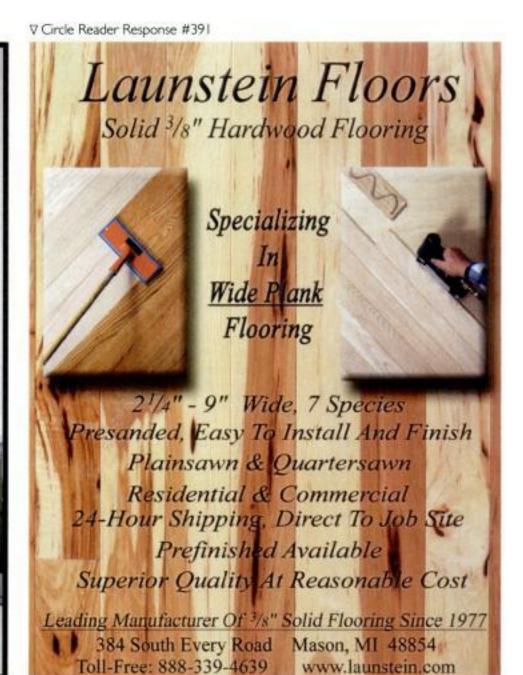


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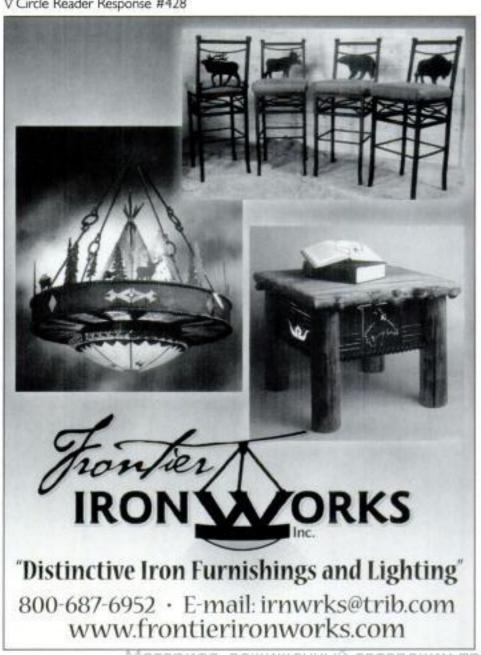
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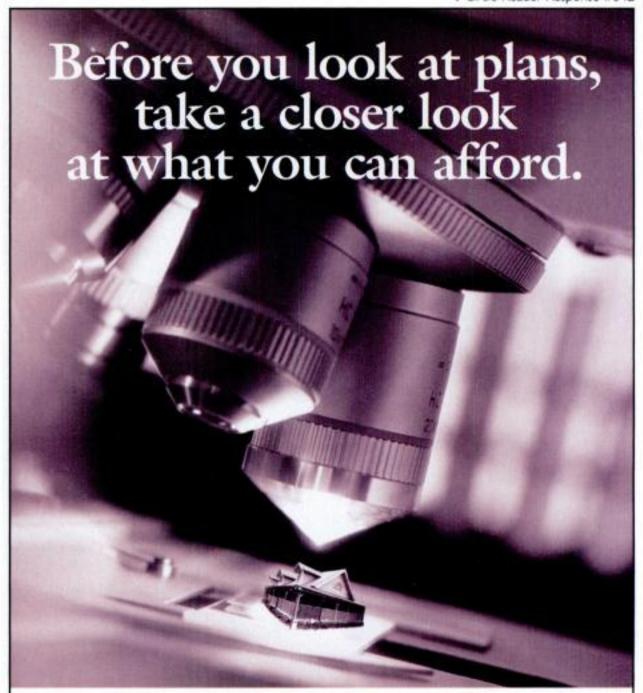


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HOME ON THE LINKS

Phase 5: Protecting the logs, installing systems and more

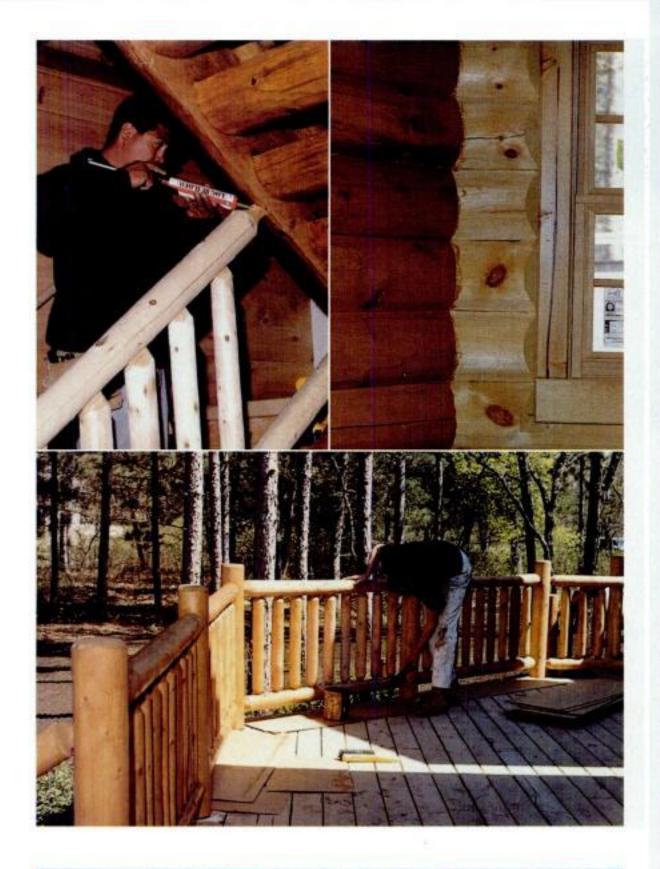
BY TERESA HILGENBERG
PHOTOS BY
PAUL HAFERMANN PHOTOGRAPHY

Te're entering what is perhaps the busiest phase in a log home's construction. The Double Eagle is now completely weathertight, which means contractors can begin working on interior walls, stairs, insulation and more.

As spring arrives in Wisconsin, we'll be able to tackle some of the most important work to be done on the home. We'll treat the logs with the stain, sealant and caulk that will protect them from the elements. We'll install the log stairs and railings and finish the garage. And we'll watch as masons assemble the fireplace stone by stone.

Seven months into the project, we're also ready to install the systems that make the home work. Various subcontractors will converge on the site to install the heating, ventilation and cooling system, and wrap up work on the plumbing and electrical systems.

Carpenters and finish crews will also go to work in the kitchen, where custom-made cabinetry and state-of-the-art countertops will come together to create a cook's dream.



PROTECTING THE LOGS

Protecting the logs is arguably the most important part of any log home project.

"The protection of the logs, the beauty and longevity of the home, and the success of future maintenance are all dependent on this first critical application," says Golden Eagle Log. Homes project manager John Batzer:

Golden Eagle used Sashco's Symphony gloss clear coat over the company's Capture brand hazelnut stain inside. The exterior was finished with Sashco's Cascade clear sealer applied over the company's bronze pine Capture stain.

"We chose the Capture stain and Cascade sealer because they are an easy to use, water-based, environmentally-friendly product," Batzer says. "The color selections are also very good. They hold throughout the years and don't darken like some products. Capture and Cascade are also easy to touch up, and future maintenance is easier than with some products.

"It is important to choose a high-quality, reputable product. Don't let cost be a motivating factor in this area," Batzer says, "Like your mother and father told you, you get what you pay for." Surface preparation is just as important.

"Be sure to clean the logs properly and follow the manufacturer's directions," Batzer adds. "This will ensure your home will be well-protected and beautiful for years to come."

MAINTENANCE TERMS TO KNOW

SEALANT A generic term used to describe any product designed to protect a log home against air and water infiltration. Sealants are necessary because log homes are built with wood, an organic material that will shrink and expand as it loses moisture. Sealants are especially important around openings — doors, windows — and at corners.

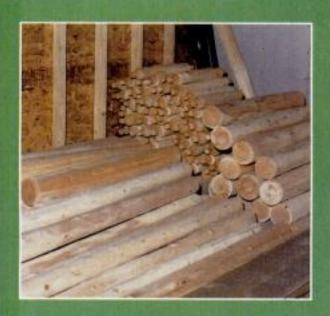
CAULK A sealant used to fill joints and spaces between logs. Like the caulk used to seal bath tubs, sinks and other household fixtures, log home caulk is available in tubes; caulking can be dispensed in a bead using a caulk gun. Caulking that is specially-formulated for log homes is available in colors that match wood so it blends with your logs.

CHINKING A sealant applied between rows of logs where the logs are not resting directly on top of each other. The chinking used today is a synthetic material that looks like traditional mortar-based chinking. Unlike caulk, which is applied in a way that allows it to blend with the logs, chinking is clearly visible (often filling 1 inch or more of space between logs), making it part of a home's aesthetic value.

SPLINE A piece of wood, plastic or metal often inserted between logs or in joints where logs butt together. Splines provide a secondary line of defense against water and air by protecting the inside of the log.

FOAM GASKET A strip of foam inserted at corners and between logs, especially in tongue and groove building systems, to form a tight seal. Foam gaskets do an excellent job of preventing drafts and are flexible enough to adjust to a log wall's movement.

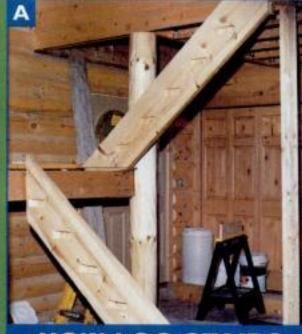
STAIR COMPONENTS







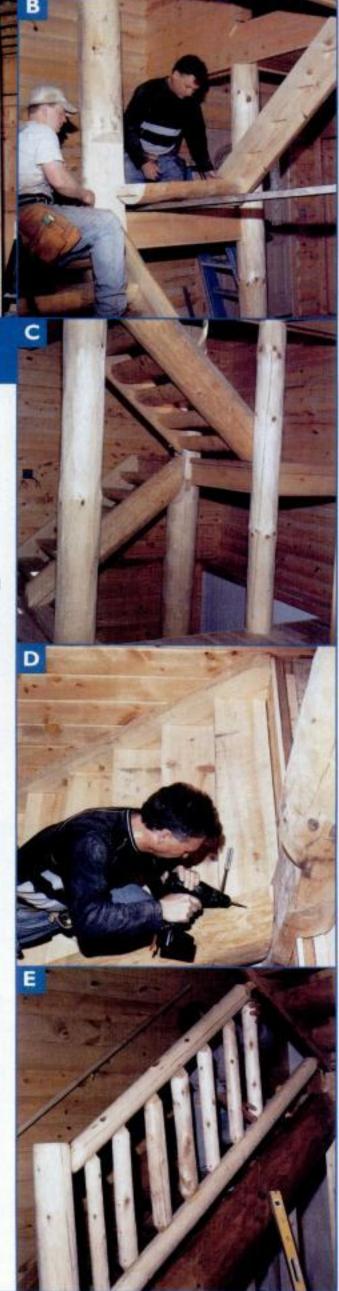
The Double Eagle's interior stair components (top) were assembled on site by Lewis & Son. Others, like those made by Posts & Rails for the front porch (bottom), came in pre-assembled sections (middle) and were installed by Golden Eagle Log Homes.

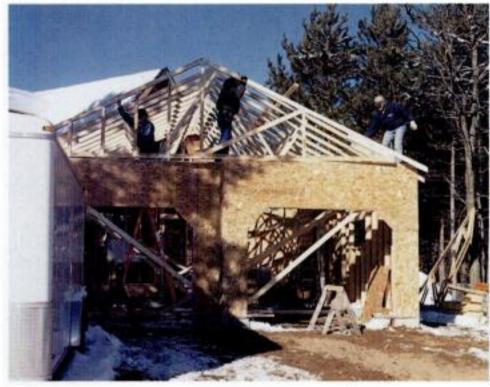


HOW LOG STAIRS ARE INSTALLED

Lewis & Son was hired to build and install the stair systems that connect the Double Eagle's basement, first floor and loft. Here, they are installing the stairs that run from the first floor to a landing and then up to the loft.

- A Looking from the dining room toward the front door, half-log treads will be inserted in the notches in the half-log stringers.
- B The treads are installed 7 inches apart, a standard height used on most stair systems, but have no more than 4 inches of space between them to meet code requirements for an open riser system.
- C The treads are in place from the first floor to the landing and beyond to the loft; the same system will be installed under this set of stairs to the basement.
- Stringers are prepared to receive the balusters.
- E The leading newel post (foreground) was installed first, then the handrail (top rail) and shoerail (bottom rail). Balusters and shoerails must be spaced so they do not allow passage of a four-inch sphere.







Earlier in the winter, Golden Eagle's crew installed engineered trusses from Automated Products, Inc. on the two-stall garage, which was conventionally framed.

The garage was finished with oriented strand board (OSB) before half logs matching the Double Eagle's full-log system could be installed.







The full-log system met the half-log system in several places, including this corner between the front porch and the garage (above left). The half-log system so closely replicates the look of the full-log system it's difficult to tell where one ends and the other begins. This shot of a partially-covered garage wall (above middle) is a good example. A close-up look at another corner (above right) reveals how closely the half-log system matches the full log system, even duplicating the butt and pass corner system.



THE GARAGE

Crews worked on the garage throughout the winter, framing it with 2x4s and covering it with OSB (see above) like most stick-built homes. The garage's 45-degree angle to the house presented several challenges.

"An angled wall is not a problem itself, but it does require extra planning and measuring," says Golden Eagle project manager Bob Strosin. "The main concern with the Double Eagle came from using a full-log wall on the exterior (front) wall and a 2x6-studded wall on the garage wall. Extra measurements were taken because the kitchen cabinet layout, the eave lines of the roof, the roof flashing and even the stair location was dependent on the exactness of the angle." The transition from a two-story (house) wall to a one-story (garage) wall also required extra planning.

The garage was topped off with the same forest green shingles from IKO Roofing Products that were installed on the house. Eventually, matching pioneer green garage doors from General American Door Company would be installed.

HOME HEATING OPTIONS

Your options include: FORCED AIR

Furnaces, installed indoors or outside, blow hot air into your home via ductwork. Furnaces burn natural gas, propane or oil to create hot gases which pass through a heat exchanger and vent outside. A fan circulates air over the heat exchanger's metal coils; the heated air continues through the ductwork into your home.

Heat pumps, available in electric or gasor oil-fueled models, use indoor or outdoor units to transport air into or out of your home. Cold outside air passes over a heat exchanger, which extracts heat; a fan coil or furnace then circulates air through ducts. The process reverses for cooling. Heat pumps are gaining popularity because they provide both heating and cooling.

HYDRONIC HEAT

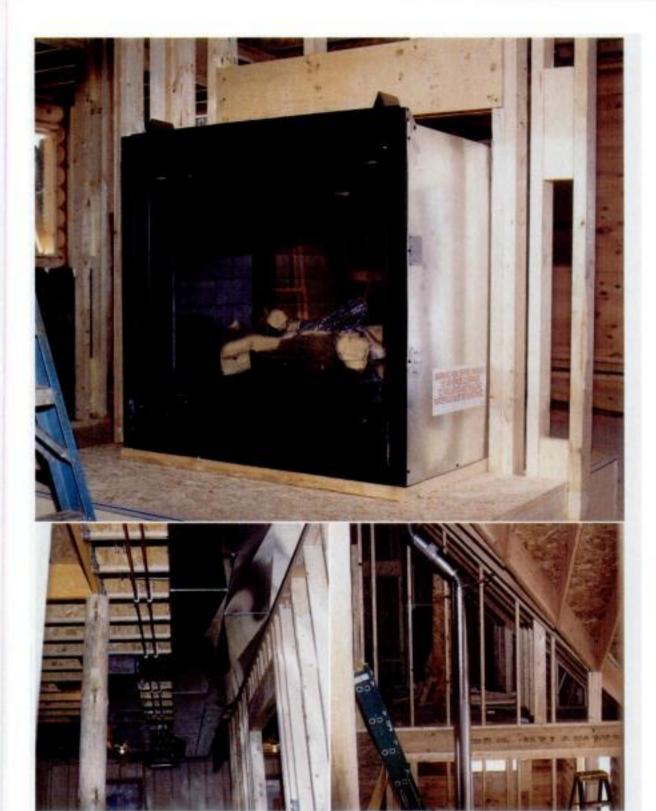
Boilers, or hydronic heat systems, are fueled by oil, natural gas, propane or electricity and use heated water to heat your home. Condensing units condense water vapor produced during the combustion process and capture the heat that is released. Water passes over coils in a heat exchanger, then a small pump circulates the warmed air to baseboard units, radiators or other distribution devices.

IN-FLOOR RADIANT HEAT

In-floor radiant heat systems feature tubes set in or under the floor. Fluid heated by pumps, boilers or solar systems runs through the tubes, warming floors and furniture consistently throughout the house. Heat then radiates from those objects.

SUPPLEMENTAL HEAT

The above heating systems can be supplemented by fireplaces and stoves, masonry heaters and solar heat systems.



A see-through B-vent Heatilator fireplace from Hearth Technologies (top) supplements the Double Eagle's forced-air furnace. The ductwork that distributes hot air from the furnace throughout the home is installed directly beneath the I-joists in the basement (above left). The fireplace had to be moved several feet left of its original design so the venting ducts would not run through the structural members in the roof system. The duct (above right) jogs to the left to avoid the ridge.

HEATING & COOLING

A Bryant Heating forced-air HVAC system heats and cools the Double Eagle. The unit will ward off the cold of Wisconsin's harsh winters and keep the house cool and comfortable in the state's warm, humid summers.

"We do have a long heating season here, but we also use air conditioning several months of the year," Batzer says. "A forced-air system will accommodate both at a very reasonable cost." The Double Eagle HVAC system uses propane (bottled) gas.

"We chose Bryant because of its durability and quality," Batzer says. "Plus, the local contractor, Jim's Burner Service, has a reputation for servicing what they install. That's something you should keep in mind when choosing any contractor."

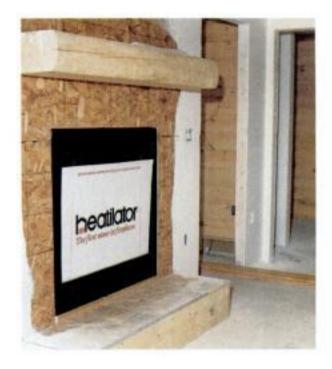




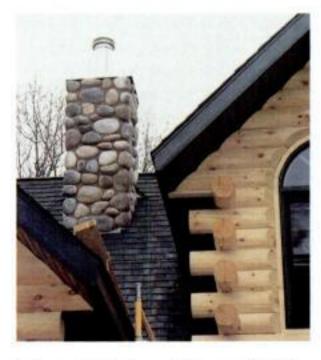
The Double Eagle features a fireplace that supplements the forced-air heating system. Wausau Supply Co. installed the see-through Heatilator unit from Hearth Technologies, which straddles the great room and master bedroom.

L&S Stone's Eldorado Adirondack-style river rock, also supplied by Wausau Supply and installed by BluffView Construction, faces the fireplace and chimney. Installing the stone veneer is a little different from installing a genuine masonry product:

- A The fireplace is covered with a scratch coat (a mixture of mortar, sand and water) so the stones can be affixed directly to the fireplace. Each stone is chosen to fit perfectly in its spot. When necessary, the stones are cut with a brick trowel or nippers to create the needed shape.
- B The mason applies an even layer of mortar to the back of the stone, then presses it firmly into place until the excess mortar oozes out from behind the stone. Joints are kept clean and tight.
- The stones are installed from the top down, which helps keep them clean.
- When all the stones have been installed, the mason grouts the joints by partially filling them with the same mortar mixture used to affix the stones to the fireplace. When the mortar joints are firm, the mason uses a striking tool to rake out the excess mortar. (This creates uniform joints at the desired depth and forces mortar into the joints to thoroughly seal the joint edges.) Finally, the mason uses a whisk broom to smooth and clean away loose mortar.







In the master bedroom, plaster was installed right up to the unit (top); the OSB still visible in the photo above was covered by the same stone veneer installed on the great room side of the fireplace (middle) and chimney (bottom).

Материал, защищенный авторским правом



When it came time to install the kitchen cabinets across the angled corner at the juncture of the 2x6-studded garage wall and full-log exterior wall, progress slowed considerably as BluffView Construction crews painstakingly measured, leveled and re-measured each cabinet before attaching it to the wall.

CABINETRY

All of the cabinets in the Double Eagle were provided by HomeCrest Cabinetry. The custom Hampton Square designs are made of hickory with a natural finish that complements the hardwood flooring found in most of the home.

Like all HomeCrest cabinets, the Hampton Square line features solid wood doors and drawer fronts with raised panels, adjustable wall and base shelves, easy-to-clean laminated interiors and concealed hinges. Beveled edges and decorative crown moulding add the perfect finished touch. Every cabinet door is sanded by hand, visually inspected and assembled by hand to assure a proper fit and a strong bond.

In the kitchen, the cabinets were installed against both full-log exterior walls and stick-framed interior walls. Two sets of cabinets were also installed as freestanding units to form a peninsula. To install cabinets on the rounded log surface, crews from BluffView Construction simply hung the flat-back cabinets, which come with a full %-inch hanging strip, as you would a picture or light fixture.



The white wall in this photo is a studded garage wall that runs at a 45-degree angle to the home's full-log exterior walls. The angle made precision fabrication and installation of the custom cabinets even more challenging than a traditional installation.



PLUMBING

As in most conventionally-framed homes, plumbing pipes can be cut into a log home's floor joists (above). The real challenge comes when those pipes have to be brought above floor level to connect to fixtures.

Whenever possible, plumbing lines are run through a log home's stick-framed walls, as was the case with the washer hook-up in the utility room, before (below left) and after (below right) the wall was finished. At the Double Eagle, Advantage Plumbing & Heating was able to install all plumbing lines through stick-framed walls or in front of log walls.



Plumbing to a utility sink (not pictured) in the laundry room was run through an exterior full-log wall while water lines for the washer hook-up (two above) were run through the adjacent stick-framed garage wall.

NEXT:

Phase 6: Flooring, flowers and final details. See page 122 for sources.

ELECTRICAL

Bringing electrical service to a log home is hardly different than installing it in a stickframed home. Just as you would cut a hole to accommodate an outlet in drywall, you start by notching a hole in a log.



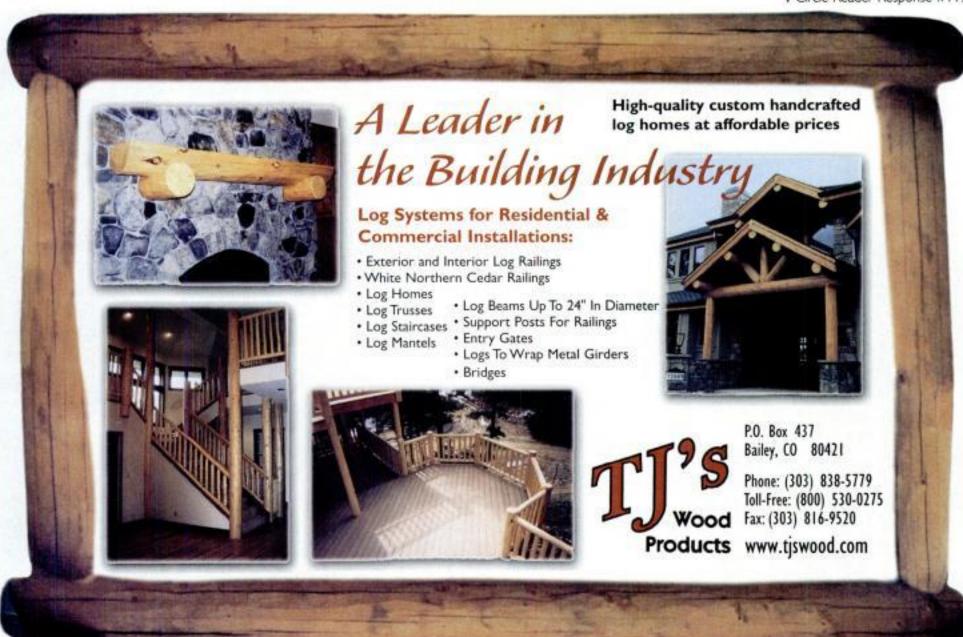
Wires are pulled through the openings cut into the logs (above) ...



... and run through holes drilled into the I-joists ...



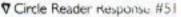
... before being connected to a 200-amp station.

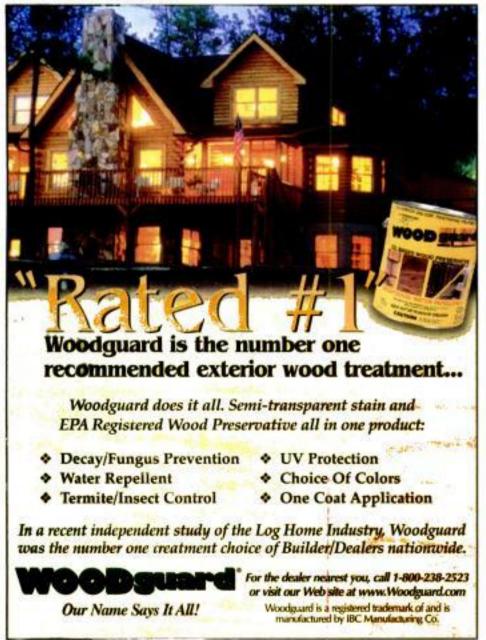


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The Heart of Your Home



Golfers reappeared on the 18th green in the Double Eagle's backyard as spring settled on central Wisconsin. In addition to warm weather, spring also brought an end to the work at our 2003 Showcase Home as we prepared to open it to the public. Here, the yard has been graded and awaits seeding.

HOME ON THE LINKS

Phase 6: Flooring, flowers and final details

BY TERESA HILGENBERG
PHOTOS BY
PAUL HAFERMANN PHOTOGRAPHY

ur project at the Double Eagle is entering the final stages of completion. Golden Eagle Log Homes crews and subcontractors have now applied protective finishes to the logs, installed the stairs, framed and finished the garage and installed the final plumbing, electrical and HVAC systems.

Nine months into the project, spring is in full bloom and we're ready to wrap up work on the home. We'll install flooring inside, flowers and other landscaping outside. Before that can happen, however, the excavating crew will return to clear construction debris from the site and give the site its final grade (no easy task in mid-spring). That will open the door for a flatwork crew to pour the concrete driveway. A brick walkway connecting the front yard, backyard and various entry points will soon follow.

Inside, lighting, doors and kitchen and bath fixtures will be put in place before the Log Home Design Ideas design team takes over to decorate the home.

FINAL GRADING & DRIVEWAY

A wet spring meant preparing the ground around the Double Eagle was no easy task. The sandy soil drained well but did not provide much support for heavy machinery. The challenge became working around the unpredictable spring weather—it was warm one day, snowing the next, then raining a few days later—and coordinating the many crews vying for time at the home as they finished details in and around the home site.

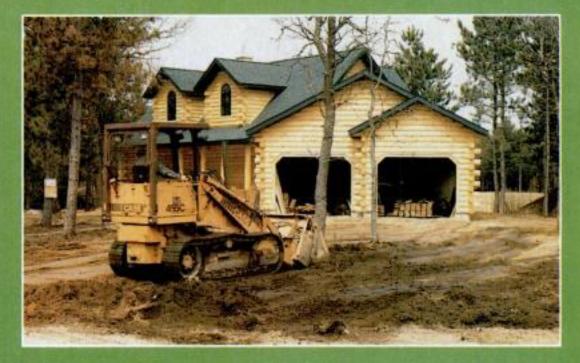
Crews from Bohn Trucking & Excavating first cleaned construction debris from the site, then graded it with small dozers. The topsoil was graded to direct water to the perimeter of the generally flat lot, which features the sandy soil common to central Wisconsin that does not require drains, ditches or storm sewers.

"Many things needed to be considered: the slope of the lot, the berm at the green on the golf course, the walk-out [basement] windows, where the gutters come down and the elevation of the road," Golden Eagle project manager Bob Strosin says. "We worked this out with the excavator, who has all the experiences in this area. We actually discussed it before the foundation went in, so the elevation of the foundation was set a bit higher than normal."

A concrete driveway was poured when the final grading was complete and the proper permit had been secured from the Town of Rome. Golden Eagle chose concrete over asphalt because, as project manager John Batzer says, "We simply felt the future owner of this home, based on its size, location and value, would expect the drive to be concrete." A flatwork crew from Rich Weiler Construction framed the 24'x135' drive around a uniform gravel base (subgrade) that was compacted and sloped 2 degrees from the house.

After the concrete was poured — 4½" deep in the main drive and 6" thick at the apron — crews struck off the excess by dragging a straight board on edge between the forms using a back-and-forth, saw-like motion. The surface was smoothed (called screeding) with a long-handled bull float, then allowed to cure.

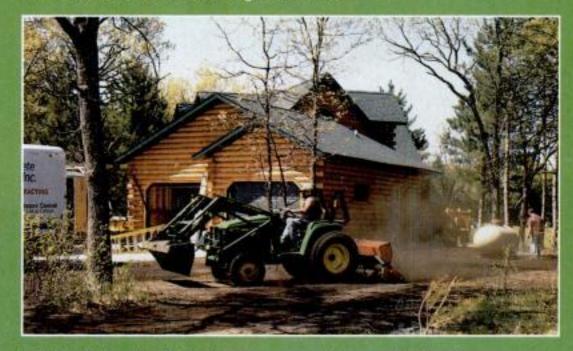
Several hours later, control joints were cut to prevent random cracking. In some areas, the apron (the section of driveway nearest the road) has to be paved with asphalt. This was not the case in the Town of Rome, where the Double Eagle was built. The town did, however, inspect the apron to ensure it met setback and drainage requirements.



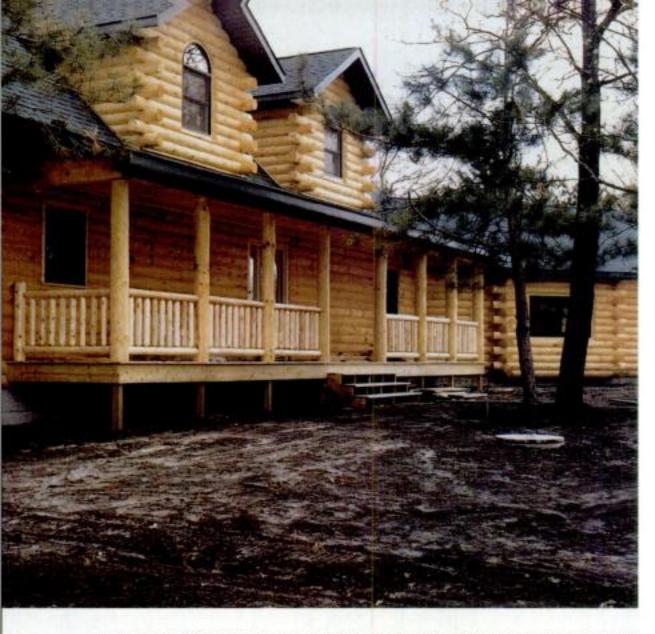
The final grading began as soon as the frost left the ground. Doing this job any sooner is fruitless; the ground level raises and lowers as the frost goes out, meaning any grading done before may not remain at the desired level.



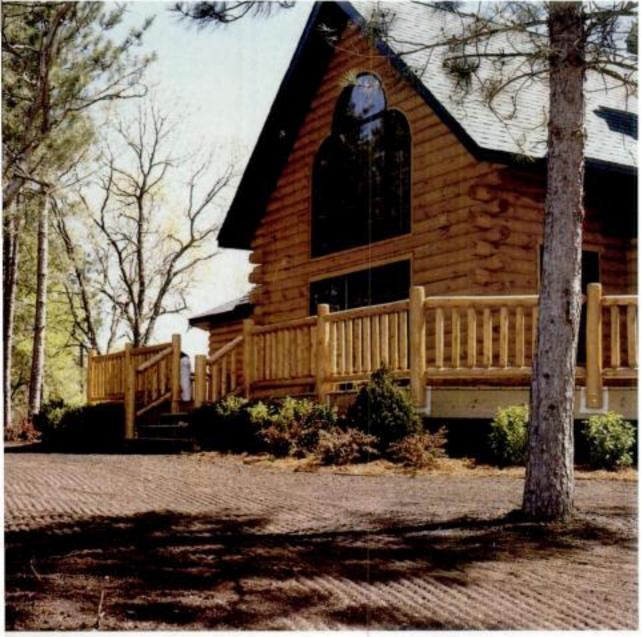
Flatwork crews installed the driveway in two sections, pouring the concrete inside previously installed wood forms held in place with stakes. Here, a crew member uses a long-handled bull float to smooth the concrete surface. Later, a concrete broom will be raked over the concrete to give it texture.



With the final grading finished and the concrete drive cured, landscaping crews went to work. Their first task: dragging the lawn area to remove rocks, tree branches and other debris.



A wet spring left the yard around the Double Eagle foundation soaked but ready for seeding. After the final grading, landscaping crews installed shrubs (below) before raking the topsoil one last time in preparation for planting grass.



LANDSCAPING

Golden Eagle Log Homes hired EMR Lawn Services, Inc. and Garden Center to design and install the landscaping elements at the Double Eagle. In addition to planting grass, shrubs and flowers, EMR was given the task of designing and installing walkways around the home's perimeter.

"The Lake Arrowhead Development requires that the only trees to be removed from a building site are those growing where the house will be built. There is also a limit on the amount of shrubbery that can be removed between the home and the golf course," Bob Strosin says, "We had to submit 'before' photos and sketches of the planned landscaping for approval."

The landscape plan was kept informal, intentionally designed to reflect the Double Eagle's wooded, rural setting. The home was built near the Lake Petenwell Flowage, an area teeming with wildlife, including turkeys and deer. That meant the shrubs and other plants installed at the home had to be animal-friendly yet discourage feeding, especially by the deer.

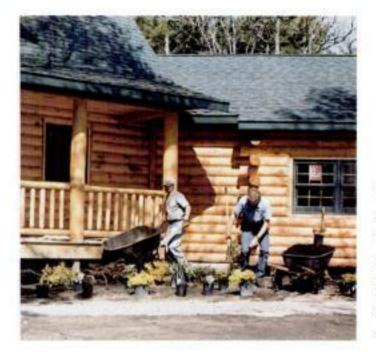
The site presented other challenges. Immediately in front of the home, where a paver brick walk would eventually lead from the garage to the front door, large pine trees provide shade most of the day. In other areas, near the road in front and near the golf course in back, large swaths of the lawn go virtually untouched by shade. The bulk of the property, however, receives shade at some point during the day. With so many diverse planting areas around the home, it was a challenge to select plants appropriate for the sandy soil, natural setting and mix of sun exposure levels.

"We gave EMR a target budget along with a few requirements," says Golden Eagle co-owner Tod Parmeter: Those requirements included a walkway to the front door that would feature rounded corners to mimic the home's half- and guarter-round windows, as well as the need to keep the natural theme of the development in mind, "EMR then drew several plans and this is the one we felt best met our needs," Parmeter continues.

Limiting the amount of grass around the home was another conscious decision. Given that the Double Eagle's eventual owner could be using the home as a second home, the lawn area was kept to a minimum to keep it low maintenance.

At the same time, several areas of natural scrub brush and small trees were left in place around the lot's perimeter. Though the adjacent lots are fairly dense with trees, the scrub provides privacy, especially along the rear lot line where the home site butts up against the 18th fairway.

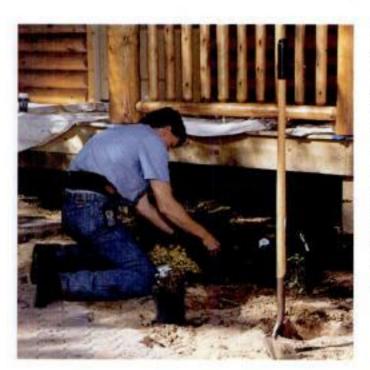
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Plants are placed where they will be installed. Topsoil is carted in by hand; it will be used around the plantings to provide a nutrient-rich growing medium that will help the shrubs, perennials and annuals get off to a good start in the sandy soil.

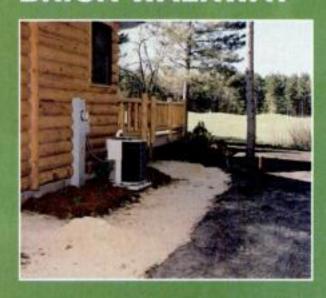


With the paver walkway roughly installed (see sidebar for more information), the final placement of each plant can be determined. Shade-loving perennials were planted near the evergreen tree at the rear of this photo; shrubs and perennials that tolerate sun and shade were installed nearer the house and garage.

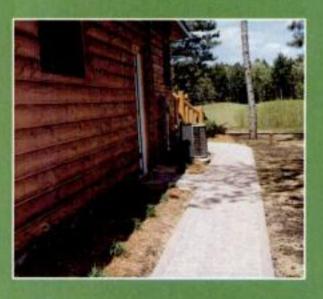


EMR Lawn Services begins installation of the individual plants. Each has to be removed from its protective packaging before planting; if the plants are rootbound, the roots have to be snipped and loosened to encourage growth. Later, a shredded bark mulch will be installed around the plantings to provide a finished look and, as it breaks down, to supplement the nutrients in the soil.

BRICK WALKWAY







A paved brick walkway connects the front door, driveway, rear garage entry and deck.

A sand path (top) marked the location of the walkway before installation. After the pavers were installed over a compacted subbase, the ragged edges (see middle photo at left) were cut with a masonry saw so edging (above middle) can be installed. Called a soldier course, this outside row of bricks will prevent the finished walkway (above bottom) from buckling and shifting.



Pneumatic nailers were used to install the hickory flooring, which has a medium wood grain pattern and color variation (top left).

The tongue and groove planks were installed directly over the subfloor; each was cut to snugly fit against the already-finished walls, cabinetry and posts (top right). A border was installed around the perimeter of the great room, where carpet from Shaw Industries would be installed at a later date.

As soon as the wood flooring was installed, it was covered with a protective paper to prevent damage by the many contractors working in the house (right).



HICKORY FLOORING

Golden Eagle chose solid wood hickory flooring for the Double Eagle's common areas, not only for its beauty but also for its durability and easy maintenance.

"The rustic hickory flooring was chosen to match the hickory used in the kitchen cabinetry," Batzer says, "We felt this was in keeping with the look of the home and would make a real statement when guests enter the foyer."

Schmidt Lumber of Shawano, Wisconsin, provided all of the random width (3" to 6") hickory installed in the home. Golden Eagle says the wood flooring isn't just a good match for the cabinetry; it's also a popular choice among log home owners.

"Wood floors have always been a part of log homes. Some people even think they are automatically included. What has changed over the last few years is the proliferation of different species and grades of wood flooring," Batzer says. "We are seeing more distressed floors with more knots in the homes we build — the more rustic, the better. Some of the newer products have a more pronounced grain and a wider variation in color than the traditional maple or oak that was used in the past. Hickory fits both of these trends and is now our most popular floor."

Upstairs, Golden Eagle went with southern yellow pine flooring in the loft balcony. "We wanted to show an alternate type of wood floor," Batzer says, "and we wanted to stay with the look of the knotty pine doors and the tongue and groove pine used on the walls and ceilings."

An oil-based polyurethane finish speciallyformulated for wood floors will keep the Double Eagle's hardwood floors looking great for years to come. Modern finishes make the wood flooring an even better option than it was 10 or 20 years ago.

"The finish is not a place you want to cut costs," Batzer warns. "Use the highest quality, hardest polyurethane finish you can find. This finish is most resistant to scratching and water marks."

Clean-up depends on the finish. The Double Eagle's future owners will simply wipe up dust and dirt with a tack cloth or, when needed, wash with a warm water solution.



The Sears store in Wisconsin Rapids equipped the Double Eagle's kitchen with Kenmore appliances (top); the white finish on the refrigerator, oven/ range and microhood create a clean, crisp feel. The Corian/stainless steel sinks from DuPont provide the perfect pairing with Moen's brand-new Monticello Cathedral Arch copper faucet (above left). Wiring that will service task lighting on the underside of the upper cabinets (above right) will ensure properly-lit work surfaces.

COUNTERTOP & SINK

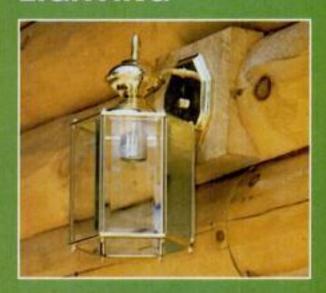
Hallmark Building Supplies, Inc., supplied the custom countertops. Made of Zodiaq Quartz Surfaces, a brand-new product from DuPont Corian, the counters feature the vela brown color: a black speckled with dark tan and rust-colored specks.

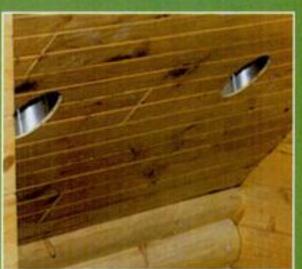
The virtually-impervious surface is made of quartz crystals, which lends it a sparkling sheen. The quartz content also means the Zodiaq resists impact and dulling and is difficult to stain, chip or scratch. It will not promote the growth of mold, mildew or bacteria, making it ideal for installation in the kitchen, where a clean work surface is a must.

The double-basin Mixa sink, featuring both large and small bowls, is another new offering from Corian. They feature famously-tough Corian sidewalls and stainless steel bottoms for easy clean-up and maximum heat and stain resistance.

Finishing off the sink area is the copper Monticello Cathedral Arch faucet. Along with the countertops and sinks, this new product from Moen was installed by Bisley Fabrication, Inc.

LIGHTING

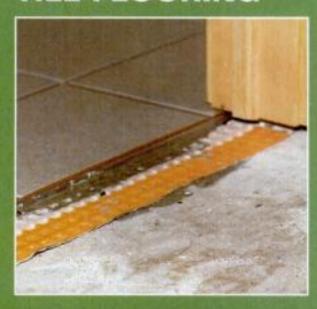






With just a few exceptions, the Double Eagle's lighting is comprised of products from Today's Design House. The exterior lights (top) feature a brass finish repeated on the recessed lights (bottom) found throughout the interior of the home. Whether they were to provide primary or accent lighting, all of the fixtures were carefully placed to provide the appropriate type of light. In the loft (middle), recessed lights will illuminate a sitting area perfect for reading and create a relaxed, informal mood.

TILE FLOORING





Ceramic tile was installed in both of the Double Eagle's bathrooms (vinyl flooring by Mannington Mills was installed in the powder room). This versatile material offered everything a bathroom floor should have: style, slip-resistance and easy maintenance.

The 12x12 tiles are large enough to create the illusion of a larger space in the small rooms, and their light, mid-toned, stone-like coloring maintains a crisp — but not institutional — feel.

A local vendor, Carpet City, supplied and installed the Rupes #2 Lune Stone tiles from Porcelanite Group over the subfloor in both rooms. Where the tile would eventually meet carpet between the master bath and bedroom (top), you can see remnants of the backing material (in yellow) and adhesive (in tan). Later the tiles were grouted and the grout sealed to protect it from stains and moisture build-up.



BATH FIXTURES

Broan fan/light combos, Mansfield toilets and cultured marble vanity top/sinks from Imperial Marble & Granite were installed in all three of the Double Eagle's bathrooms. HomeCrest Cabinetry supplied all of the vanities and medicine cabinets and Moen supplied chrome and polished brass Monticello faucets that mimic the design of the copper faucet in the kitchen (right).

Advantage Plumbing & Heating, LLC installed all of the bath fixtures. In the master bath, a bone-colored



fiberglass shower module featuring a hammered glass pivot door (both from Central State Supply) accompanies a one-piece bone-colored jetted tub from Aker Plastics. The tub (above) is set in the bumpout added to the floor plan to increase space in the master suite.

Upstairs, the second bath is outfitted with a bone-colored fiberglass shower with a Showerite by-pass door that features the same hammered glass found on the shower door in the master bath; Central Supply supplied both products.

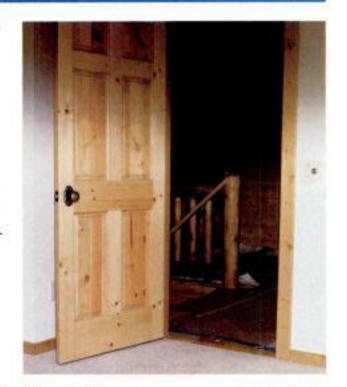


FINISHING TOUCHES

There were so many finishing touches being added in the last days of construction at the Double Eagle, it's impossible to list them all.

Interior room and closet doors had to be hung (above), and shelving and rods had to be installed in the closets. Six-panel pine doors were used throughout the home, including the pocket door that was installed in the first-floor powder room to conserve space. Every door was fitted with Jamestown-style locksets and hardware with a satin steel finish.

Throughout the house, vent, switchplate and outlet covers had to be screwed into place. Every bulb in every



light fixture was checked, every corner and surface wiped down to remove construction dust.

Outside, crews installed aluminum soffit and fascia from EDCO Products, Inc. and applied Velvit Oil's deck stain to the deck floor. In the garage, a crew from Prince Corp. installed Marantec America brand door openers.

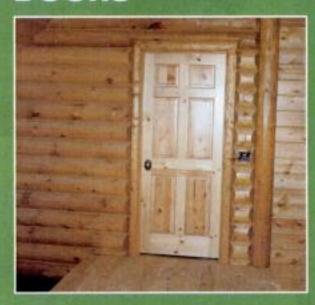
See page 122 for sources.

THE GRAND FINALE

After almost a year of planning and hard work, the Double Eagle was finished. The last detail — the decorating — was about to begin.

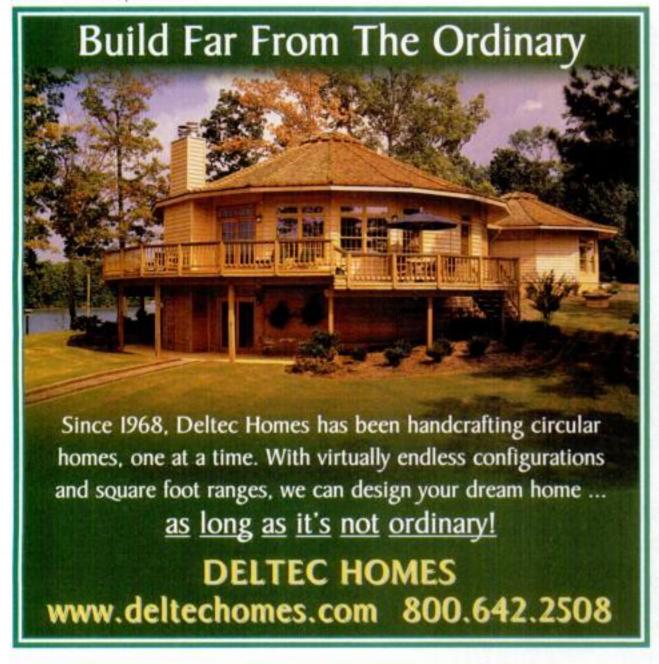
To tour the fully-furnished home as decorated by the Log Home Design Ideas design team, see page 106.

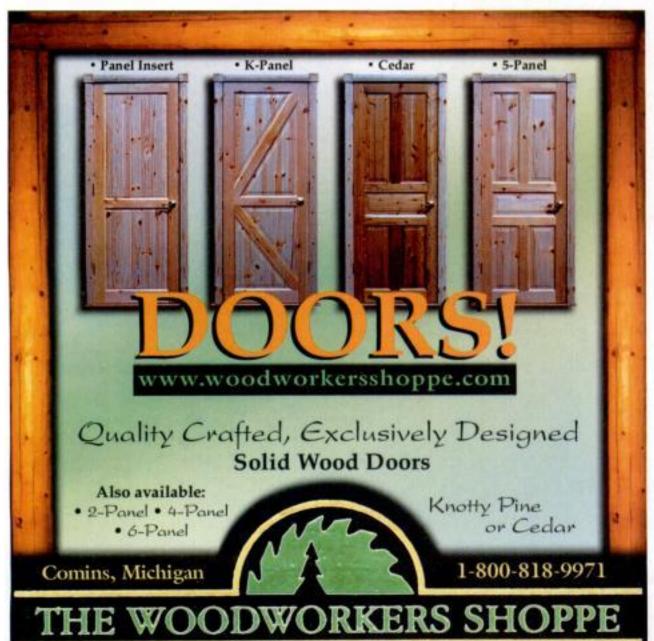
DOORS

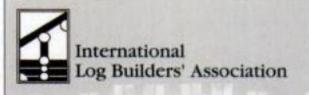




Knotty pine 6-panel doors from Western Building Products were used for all of the home's interior installations. The same Springbrook-style door, featuring sturdy solid wood construction and a clear finish to complement the hazelnut-toned finish (by Sashco) on the logs, was used for room entry and closet installations.







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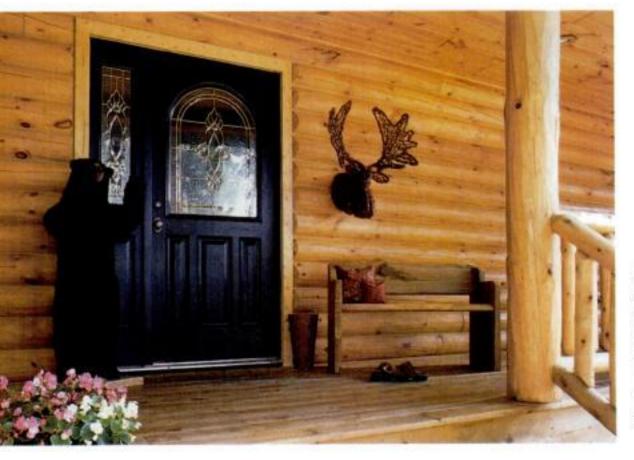
Welcome to the Double Eagle

Inspiration is key to any building project. The site, your lifestyle, favored activities and hobbies, happy memories of a cherished childhood home — all come into play when you design your log home.

Even though there was no homeowner driving the project, there was no shortage of inspiration when it came to designing and building the Double Eagle, the Log Home Design Ideas 2003 Showcase Home. Our inspiration came from many sources: the quiet woodland setting provided by the Lake Arrowhead development; the soaring, swaying-in-the-breeze Norway pines that dot the building site; the gorgeous views of the 18th green and pond just beyond the rear lot line.

Less than two years after we embarked on this extraordinary project, we're ready to give you a tour of the completed, fully-furnished home. We've watched as an empty lot was transformed into an idyllic home site. So kick back, put your feet up, and enjoy.

BY TERESA HILGENBERG PHOTOS BY JOHN LUKE PHOTOGRAPHY



Simply furnished with a rustic bench and a handful of playful woodland creatures, the front porch features log railing accents and an inviting green door that matches the Double Eagle's roof and trim. The porch, which runs the 44-foot length of the house, is 6 feet deep — perfect for a porch swing.

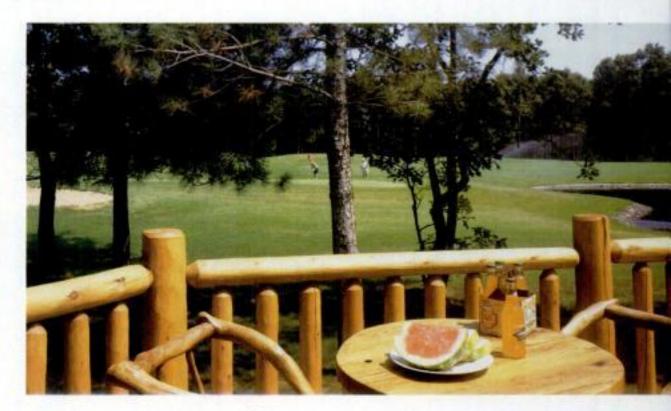


Double Eagle THE DESIGN

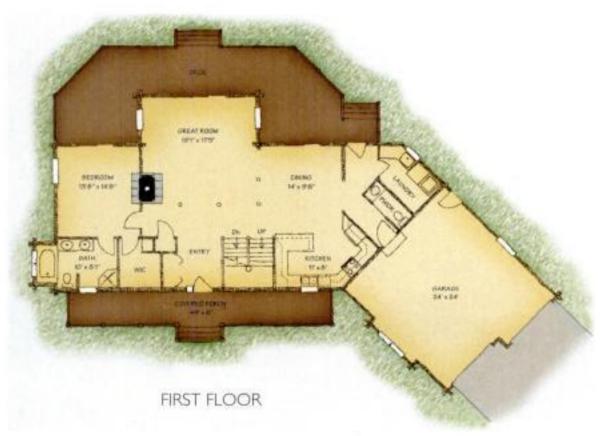


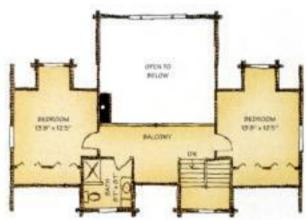
The Double Eagle's rear facade (left) features soaring windows in the central great room and a deck that wraps around the back of the home from sliding patio doors off the dining room (at left) past the great room (center of photo) to the master suite (not visible). The view from the master bedroom's deck (below) includes a gorgeous view of the green and pond.

A golfer's dream is what most people would call this home. Views of the 18th green on Lake Arrowhead's The Lakes Course dictated much of the home's design, which was based on a Golden Eagle Log Homes stock plan, the Mountain View. That basic 40'x30' footprint was enlarged to 48'x32', made possible by the large lot's curved frontage. The garage was designed at an angle to the home to take advantage of the lot's shape and increase space in the kitchen (see floor plan on opposite page).









SECOND FLOOR

Footprint:
First Floor:
Second Floor:
Total: 2,377 sq. ft.
Basement: 1,589 sq. ft.
Garage: 600 sq. ft.
Porch:
Deck









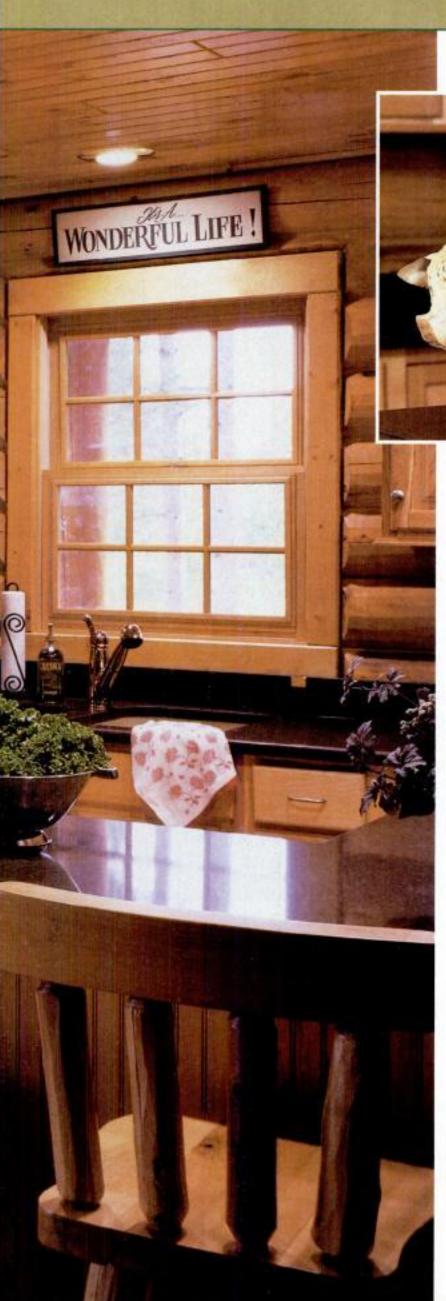


Nature-inspired accents like those on the sofa table (top) and above the mantel (left) keep things simple yet uncluttered. The "golf corner" (above) is perfect for the duffer looking to while away bad-weather days with thoughts of that next trip to the clubhouse.

Open and airy, the great room is at the geographic center of the home — the place where all activities seemingly begin and end. The front door opens onto the great room — and the first thing the eye sees out the soaring two-story windows across the room is the view of the golf course.

Some of the home's most striking logwork is visible in the great room, where plush carpeting provides relief for feet weary from walking the links all day. Four large log posts mark the perimeter of the room while two large tie beams span the cathedral ceiling.

The furnishings here are comfortable and casual, with simple northwoods-inspired upholstery, solid-wood tables and handcrafted lighting and accents. Here, too, are several seating areas designed to encourage conversation and accommodate a number of activities in front of the gas fireplace.







It's a wonderful life! The sign above the window says it all. The kitchen's elegant but comfortable feel is the result of much careful planning and a concerted effort to create an open, multifunctional space.

It all starts with the sleek black quartz countertops. Striking against the backdrop of the honey-toned logs and cabinets, the countertops make a clear statement: This is a place to be enjoyed as much as to be used.

But the countertops aren't just pretty; they also provide a tough work surface that can withstand any scratches, gouges or spills the cook throws at them.

The custom hickory cabinets, which feature raised panels and decorative beveling and moulding, carry on the tone set by the countertops. And that's just what you see on the outside. A bevy of convenient slide-out drawers, lazy susans and other organizers make this one of the most efficient kitchens around.

From there, all the details come together — an innovative double-bowl sink with a just-introduced copper faucet, crisp white appliances, unobtrusive recessed lights, seating at the peninsula — to create the perfect kitchen.

One thing this kitchen isn't lacking: storage.

Whether it's inside the generous amounts of upper and lower cabinets or in the open display case (above right) installed alongside the refrigerator; this kitchen has a spot for every gadget, pot, pan and cookbook a cook might have.

Double Eagle DINING AREA



To offset the honey-toned finishes on the Double Eagle's full-log walls, tongue and groove ceilings and hardwood floors, we opted for a handcrafted twig and reed dining set made by Amish craftsmen in Michigan. Though the set brings more wood into the room (glass wouldn't do in this house), the dark bark-covered edges add a subtle definition to the space.

Colonial styling meets Adirondack craft in the dining area. Located just off the kitchen and adjacent to the great room, this space is just the right size for family dinners yet flexible enough to host larger gatherings.

> From the reproduction chandelier hanging over the table to the pastoral prints on the wall, the dining area features subtle hints of period décor. The theme is a good match for the Shaker

inspired accents in the kitchen, which also inspired the subdued black scheme in the dining area's accents. But you have to look closely to find them: in the chandelier's slim arms, on the picture frames, in the bark-covered edges of the handcrafted table and chairs.

The table setting features neutral tones — taupes and whites — amid light touches of sage and eggplant. The placemats feature a hint of the same colors — and add just the right amount of texture to the tablescape.



The utility room (left) and a small hallway leading to the rear service entry (right) are just around the corner from the dining area. Along with the powder room (not pictured) and a portion of the kitchen, both spaces are carved out of the 'bonus' space gained by designing the garage at an angle to the home. The utility room features a bevy of upper and lower cabinets, a large folding station and a convenient clothing bar. Outfitted with easy-to-clean vinyl flooring, it's also one of the few first-floor rooms not finished with wood or carpet flooring.



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Double Eagle MASTER SUITE



Interior designers and medical experts alike say an uncluttered bedroom fosters better sleep.

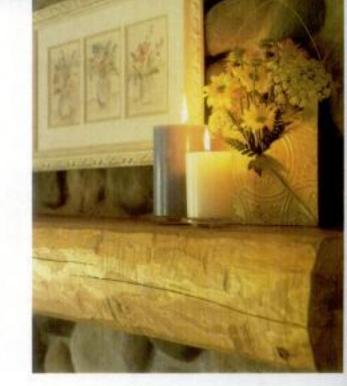
To that end, we kept the master room uncluttered, incorporating only the bare necessities.

Still, we couldn't scrimp on pampering details like fresh flowers and scented candles.

Cottage attitude — quaint, calm and carefree — is what it's all about in the spacious first-floor master bedroom.

From the clean lines of a replicated vintage iron bed to the comfy cushions of a denim-clad cottage chair, this room is warm and inviting. Without being frilly or fussy, this feminine room brings pastels into the log home, an unusual but conscious choice on the part of LHDI style editors.

It doesn't hurt that the room is infused with light, thanks to a large window beyond the bed and sliding patio doors leading to the deck. Add the crackle of a roaring fire on a cold winter's night — the room shares a seethrough fireplace with the great room — and there's no place you'd rather be.





Without the bumpout that was added to the master bath during the original design process, the room would have been small and cramped — and the separate glass shower stall (just left of the photo's left edge) would only be a dream. With the added space, dual sinks and the two bathing fixtures, there's plenty of room for two. Like the rest of the house, natural light streams into this room thanks to generous amounts of windows.

Breathing space is abundant in the master bath, thanks to a wellthought out design.

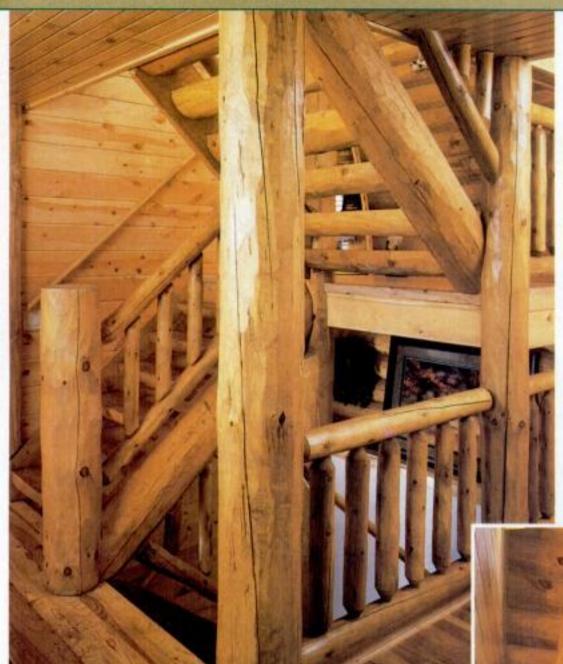
Tweaking during the months-long design process added a cantilevered bumpout to hold a jetted tub. But the bumpout didn't just add space to an otherwise small room. It also added a large window — and the streams of natural light that come with it — to create a unique bathing experience.

The extra space also allowed us to install a large vanity with dual sinks, a separate shower and a privacy wall next to the toilet.

Like the master bedroom, the bath has a reserved, quaint feel to it. Soothing shades of green and yellow continue the feminine tone set in the bedroom and offset the cool, hard feel of the ceramic tile flooring.

This room has one of the few 'window treatments' in the house — the improvised shower curtain — that's more aesthetic than functional. Our style editors put two gauzy curtain panels on a standard shower rod, then pinned them open to create a frame for the square opening over the tub. The result: a stylish treatment that softens the room's hard surfaces and edges.

Double Eagle STAIRS/LOFT

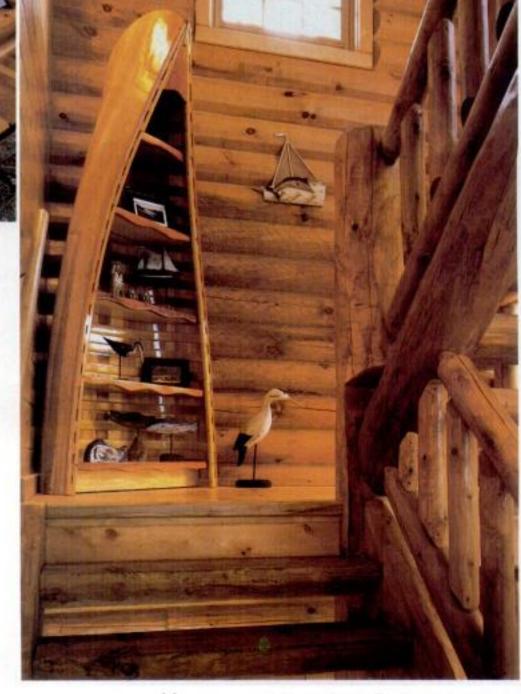


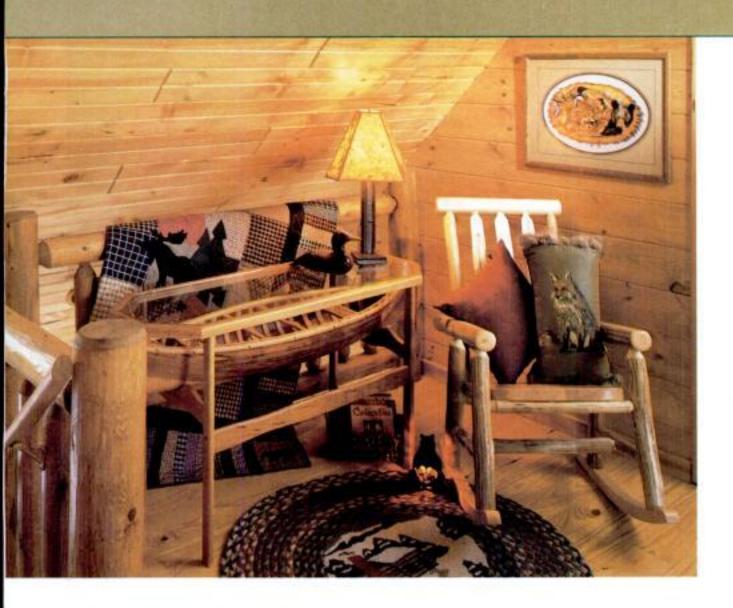
A stairwell runs through the middle of the home, connecting the ready-to-be finished basement, first-floor living areas and second-floor loft and bedrooms. Stacking the two stair systems was a huge space saver and also created an interesting architectural element. When light streams through the window above the upper set of stairs (below), the stairwell becomes a beacon of light that radiates out through the open-tread stairs and casts intriguing shadows into the rest of the home.

A pair of landings, one each in the upper and lower stairwells, allows the stairs to turn in a close radius, minimizing the space they occupy. The landings also provide display space for collectibles.

On the lower landing (visible through the balusters in the photo above), Golden Eagle incorporated a ledge into the outer wall; with recessed lighting above, we had the perfect place for a favorite fly fishing print and a pine wreath that mimics the artificial trees in the great room.

The upper landing (right) is so large we were able to comfortably place a decorative canoe bookshelf in the corner and fill it with our favorite knickknacks.





At the top of the stairs, a catwalk connects bedrooms on opposite sides of the house. Between them lies this cozy little loft reading spot. It has a great view looking over the great room and out onto the yard and fairway beyond. It's also reminiscent of the lighthearted northwoods theme introduced at the front porch entry. Here, bear, fox, moose and other woodland creatures take up residence in an array of casual accents, from the braided rug, hand-painted pillow and handmade quilt to the bear-belly nightlight, a favorite among the LHDI style editors.

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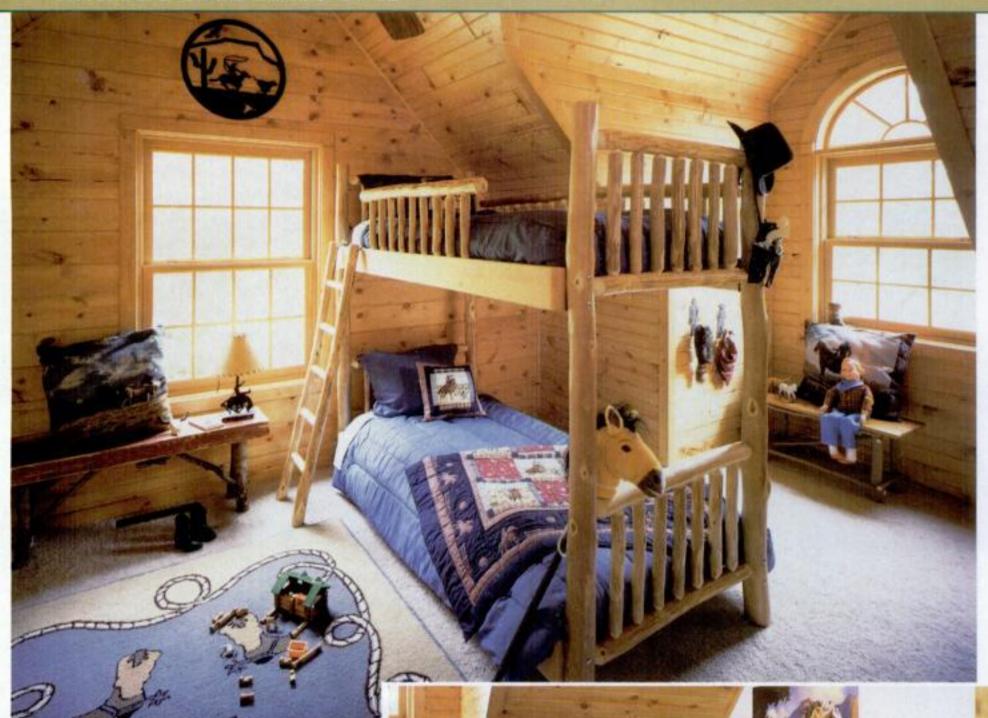
TomLin Designs

Upgrades

Vision Metalworks

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Double Eagle 2nd FLOOR BEDROOMS



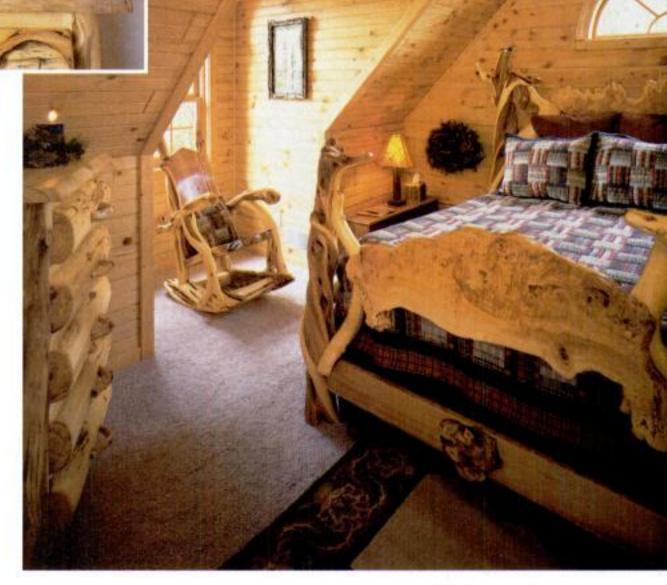
Ride 'em cowboy is the name of the game in the second-floor child's room. With a treetop view of the backyard and cowboy-themed furnishings, this is without a doubt the most laidback, fun-filled room in the home.

No child could resist crawling up, down and around the handmade log bunkbeds, and that's just the beginning. Denim comforters, cowboy-styled accent pillows and throws, and a coordinating area rug complete the theme. Throw in a coonskin hat, authentic bandanas (just like the cowboys wear!) and wrought iron accents and the wild west comes alive.

Every kid should have a designated homework area. We took advantage of this bedroom's generous size to do just that, choosing a desk that matches the bunkbeds and outfitting it with a boot-shaped pencil holder, a trick-roper lamp and other fun accents.



Inspired by nature, taken from nature. That's the theme in this second-floor guest room, where the bed and rocker crafted of twisted, burled juniper makes an immediate statement. Everything else is icing on the cake — from the Joan White handpainted original hanging over the dresser (above) to the hand-forged iron and wood bedside lamp topped off with a handmade paper shade (at right).



Unequalled beauty. Down the hall, the story is different. In the guest room, a one-of-a-kind juniper bedroom set takes center stage in a room serious about comfort and relaxation.

From the massive bed and matching rocking chair to the quilted plaid bedding and jute area rug, the atmosphere in this room is decidedly masculine, the polar opposite of the feminine master suite. The oversized furniture is too large for the 13'8"x12'5" room, but that's okay. Combined with the sloping ceiling and dark-toned accents, the room is overfilled in a comforting sort of way. The result is a haven far away from the rest of the home's activities, isolated from the hubub on the first floor. Just what you want in a guest room.

See page 122 for sources.

Thank you for joining us as we designed, built and decorated the Double Eagle, the Log Home Design Ideas 2003 Showcase Home.

Please frequent the project sponsors and contributors listed here.



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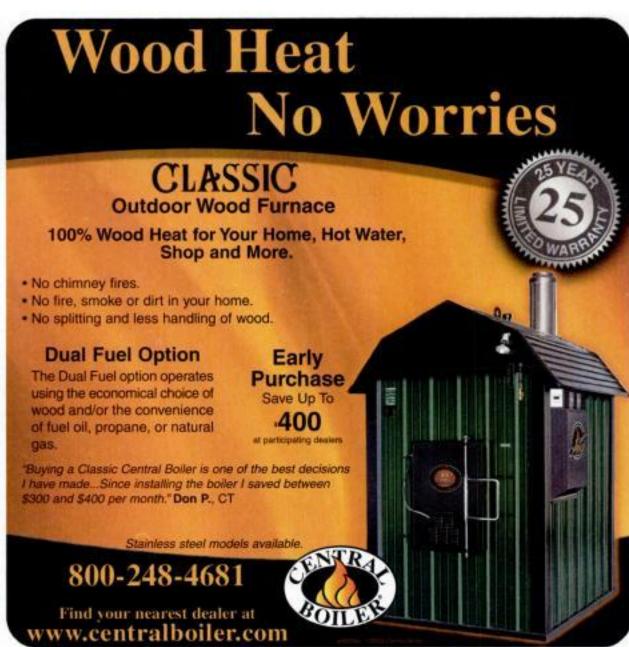
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Continued on page 124







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RESOURCES

DESIGN

FLOOR PLAN

The "Double Eagle" model from Golden Eagle Log Homes, Inc., Wisconsin Rapids, Wisconsin. Based on the company's "Mountain View" plan.

DECORATING

Log Home Design Ideas magazine, with the aid of artists and companies from across the United States and Canada.

CONSTRUCTION

Project Management: Bob Strosin, Golden Eagle Log Homes John Batzer, Golden Eagle Log Homes

GENERAL CONTRACTOR Golden Eagle Log Homes

FINISH CARPENTRY Bluff View Construction

SITEWORK Bohn Trucking & Excavating, Inc.

LAND Lake Arrowhead Realty

LOGS

PACKAGE SUPPLIER: Golden Eagle Log Homes; SPECIES: Untreated Eastern white pine; PROFILE: First Floor — 8x8 Double Round Peeled-Inside-and-Out Full Log; Garage, Dormers, Gable Ends — Matching Split Log; CORNER SYSTEM: Butt & Pass

INTERIOR CLEANING (before application): Bleach and Water; Supplied and Applied by TRS Restorations; EXTERIOR CLEANING (before application): Bleach and Water; Supplied and Applied by TRS Restorations

INTERIOR FINISH — FULL LOGS: Sashco Capture Stain in Hazelnut with Sashco Symphony Gloss Clear Coat; Applied by TRS Restorations

EXTERIOR FINISH: Sashco Capture Stain in Bronze Pine with Sashco Cascade Clear Sealer; Applied by TRS Restorations

CAULK: Sashco Log Builder in Woodtone; Applied by TRS Restorations

COMPONENTS

FLOOR SYSTEM: Engineered Wood; Supplied by Boise Cascade Engineered Wood Products: Installed by Golden Eagle Log Homes

TRUSSES — GARAGE, PORCH & UTILITY ROOM: Engineered; Supplied by Automated Products, Inc.; Installed by Golden Eagle Log Homes

INSULATION — CEILINGS & WALLS: Spray-In Soft Foam, R-38 (ceilings) and R-19 (walls); Supplied by Kulps of Stratford LLC; Installed by Icynene, Inc.

WINDOWS & PATIO DOORS: CrestClad (Aluminum Clad Exterior/Tone and Seal Pine Interior) Double-Hung in Forest Green; Supplied by Crestline Windows & Doors; Installed by Golden Eagle Log Homes

INTERIOR DOORS: Knotty Pine 6-Panel in Spring Brook; Supplied by Western Building Products; Installed by Bluff View Construction

CLOSET DOORS: Knotty Pine 6-Panel in Spring Brook; Supplied by Western Building Products; Installed by Bluff View Construction

DOOR HARDWARE —
INTERIOR/CLOSET DOORS:
Jamestown Satin Steel; Supplied by
Emtek Products, Inc.; Installed by
BluffView Construction

LOCKSETS: Jamestown Satin Steel; Supplied by Emtek Products, Inc.; Installed by Bluff View Construction

WALLS: Sheetrock Gypsum Panels by USG Corporation; Supplied by Destotell Drywall; Installed by Jeff Destotell

WALLS — PAINT: Hallman Lindsay in Off White; Supplied by Destotell Drywall; Applied by Jeff Destotell

CEILINGS: Ix8 Bevel Ponderosa Pine Tongue & Groove; Supplied by Weyerhaeuser; Installed by BluffView Construction

CEILING FINISH — T&G: Golden Eagle Log Homes Standard Pre-Finish Option in Golden Eagle Standard; Supplied by Golden Eagle Log Homes; Applied by TRS Restorations RECESSED LIGHTING: Style 7201 in Bright Brass; Supplied by Today's Design House; Installed by Complete Control, Inc.

CEILING FANS: Builder Series 52° Polished Brass by Today's Design House; Installed by Complete Control, Inc.

HARDWOOD FLOORING: Rustic 3"-6" Random Width Hickory; Supplied by Schmidt Lumber of Shawano; Installed by BluffView Construction

HARDWOOD FLOORING FINISH: Minwax Wood Finish in Golden Oak; Installed by TRS Restorations

FIREPLACE: See Through Caliber B-Vent Fireplace (GBST36LE) by Heatilator; Installed by Wausau Supply Co., Inc.

MASONRY: River Rock in Adirondack by L&S Stone; Supplied by Wausau Supply Co., Inc.; Installed by Bluff View Construction

MANTELS: Hand-Peeled Log: Supplied by Golden Eagle Log Homes; Installed by Golden Eagle Log Homes

HOME SYSTEMS

HVAC: Forced-Air Heat Model 350/Air Model 561; Supplied by Bryant Heating; Installed by Jim's Burner Service, Inc.

HOT WATER: Rheem Model 75 Domestic Hot Water; Supplied by Rheem Manufacturing Company; Installed by Advantage Plumbing & Heating, LLC

PLUMBING

Installed by Advantage Plumbing & Heating, LLC

ELECTRICAL

Installed by Complete Control, Inc.

EXTERIOR (pp. 107-109)

LANDSCAPING: Design and Installation by EMR Lawn Services, Inc. and Garden Center

FOUNDATION: Poured Concrete; Supplied and Installed by Rich Weiler Construction

Continued on page 126



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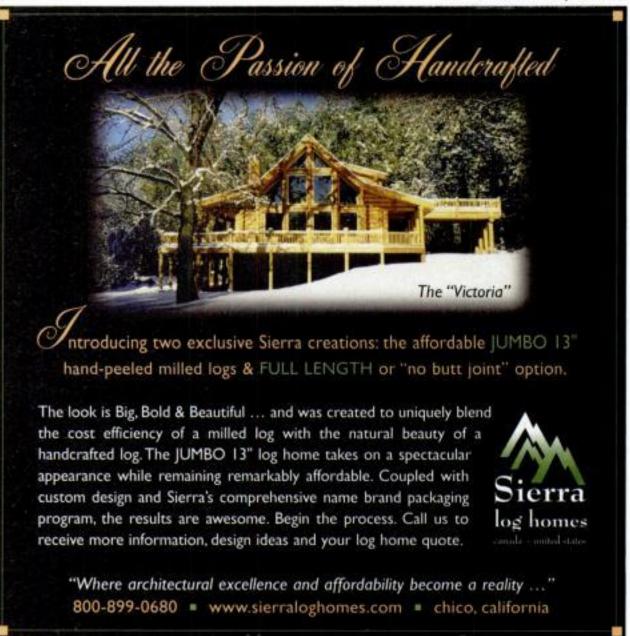
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Double Eagle SOURCES

ROOF: Cambridge 25 Laminated Fiberglass Shingles in Forest Green; Supplied by IKO Roofing Products; Installed by Dunn-Right Roofing

SOFFIT & FASCIA: Aluminum in Grecian Green; Supplied by EDCO Products, Inc.; Installed by Golden Eagle Log Homes

GARAGE DOORS: Style #7825
Pioneer in Green; Supplied by
General American Door Company;
Installed by Prince Corp.

GARAGE DOOR OPENERS: Deluxe #2005 Series: Supplied by Marantec America Corporation; Installed by Prince Corp.

DECKS: Pressure-Treated Xx6 Pine Decking and Joists; Supplied by Lake States Lumber; Installed by Golden Eagle Log Homes

DECKS — FINISH: Velvit Oil Deck Stain in Light Pine; Supplied by Velvit Products Inc.; Applied by Golden Eagle Log Homes

BATHS — GENERAL (p. 117) FLOORING: Brand Porcelanite Group 12x12 Ceramic Luna Stone in Rupes #2: Supplied and Installed by Carpet City

LIGHTING — FAN/LIGHT COMBOS: Broan NuTone QT-110; Supplied by W.A. Roosevelt Co.; Installed by Complete Control, Inc.

LIGHTING — VANITIES: Natural Hickory Globe Light Bar by HomeCrest Cabinetry, Installed by Complete Control, Inc.

VANITIES: Hampton Square Hickory in Natural by HomeCrest Cabinetry; Installed by Bluff View Construction

VANITY TOPS/SINKS: Cultured Marble Oval Bowl(s) in White on Bone; Supplied by Imperial Marble & Granite; Installed by Golden Eagle Log Homes

FAUCETS: Moen Monticello in Chrome & Polished Brass: Installed by Advantage Plumbing & Heating, LLC

MEDICINE CABINETS: Tri-View Hickory in Natural by HomeCrest Cabinetry, Installed by Golden Eagle Log Homes TOILETS: Vitreous China Alto I 30-I 60LT Round Bowl in Bone; Supplied by Mansfield Plumbing Products, LLC; Installed by Advantage Plumbing & Heating, LLC

FRONT PORCH (p. 106)
DOOR: Classic-Craft #38 with
CC2150 Sidelight in Green
(exterior)/Light Oak (interior) by
Therma-Tru Doors; Installed by
Golden Eagle Log Homes

LOG RAILING: Peeled Cedar Log: Supplied by Posts & Rails; Installed by Bluff View Construction

PORCH FLOOR: Pressure-Treated %x6 Pine Decking and Joists; Supplied by Lake States Lumber; Installed by Golden Eagle Log Homes

PORCH FLOOR — FINISH: Velvit Oil Cabin & Deck in Light Pine; Supplied by Velvit Products Inc.; Installed by TRS Restorations

FURNISHINGS: Solid Wood Bench (ENTYB), Alpha Omega Western Furnishings, Inc.; 8" Balsam Pillow, 14" Balsam Pillow, Adirondack Country Store; Medium Standing Poseable Black Bear, Cabin Fever, Inc.; Americana Bucket Luminaries, Midwest of Cannon Falls; Grapevine Moose Head, Cabin Fever, Inc.

FOYER/FRONT ENTRY

DOOR: Classic-Craft #38 with CC2150 Sidelight in Light Oak (interior)/Green (exterior) by Therma-Tru Doors; Installed by Golden Eagle Log Homes

FURNISHINGS: Log Shelf, Cabin Fever; Inc.; Painted Desert Area Rug from Dick Idol's High Country Heritage Collection by Capel Incorporated

GREAT ROOM (p. 110) CARPET: Shaw Industries Relaxed Living in Evergreen; Supplied and Installed by Carpet City

FURNISHINGS: Log Sofa Table, Pioneer Log Furniture; Putting Golfer Iron Sculpture, Meyda Tiffany; St. Ives Scottish Golf Clock, Howard Miller; Bent Hickory Magazine Rack, Bent Hickory Footstool, 4x6 Adirondack Frame, Adirondack Country Store; Pillar and Votive Candles, Candle Corporation of America; Single-Pole Floor Lamp

with Golfer Profile and 20° Handpainted Shade, Black Sofa Table with Golfer Profile, Colorado Dallas, Inc.; Hudson Bay Sofa and Chair, Creel Coffee Table and End Table. Journeyman's Chair and Ottoman from Dick Idol's High Country Heritage Collection by Klaussner Furniture Industries: Pinecone, Maverick and Montana Pillows, Along the Trail Throw from Dick Idol's High Country Heritage Collection by Upgrades; Wrought Iron Floor Lamp, Wrought Iron Table Lamp, Sitting Dog Sculpture, Laying Dog Sculpture, Pinecone Tile Box from Dick Idol's High Country Heritage Collection by TomLin Designs/LampCrafters, Inc.; Floral Arrangement from Dick Idol's High Country Heritage Collection by Foster's Point, Inc.: "Noble Retreat" Moose from Dick Idol's High Country Heritage Collection by Big Sky Carvers; Conservatory, Tartanwear Picture Frame, Embossed Lamp, Midwest of Cannon Falls: Floral Wallhanging in Cone-Shaped Wicker Container, Dried Floral Mantel Wreath, Wisconsin Craft Market

DECKS (pp. 108-109)
FURNISHINGS: Dining Chairs
(BRCH) and Dining Table, Alpha
Omega Western Furnishings, Inc.;
Slat Seated Rockers, Plow & Hearth,
Inc.

KITCHEN (p. 112)

CABINETRY: Hampton Square Hickory with Natural Finish by HomeCrest Cabinetry; Installed by BluffView Construction

COUNTERTOP: Zodiaq Quartz Surfaces in Vela Brown by DuPont Corian; Supplied by Hallmark Building Supplies, Inc.; Installed by Bisley Fabrication, Inc.

SINK: Mixa Large Bowl/Small Bowl in Adobe Corian/Stainless Steel by DuPont Corian; Installed by Bisley Fabrication, Inc.

FAUCET: Moen Monticello Cathedral Arch in Copper; Installed by Advantage Plumbing & Heating, LLC

APPLIANCES: Kenmore Style Elite 25.5 cu. ft. Side-by-Side Refrigerator in Bisque; Kenmore 30-in. Electric Slide-In Range in Bisque; Kenmore Microhood Combination in Bisque; Supplied and Installed by Sears of Wisconsin Rapids

FURNISHINGS: Handcrafted
Barstools with Backs, Countree
Living: Tin Farm Animal — Pig, Plow
& Hearth, Inc.; Pillar Candles, Candle
Corporation of America; CUCINA
Purifying Hand Wash with Coriander
& Olive Oil, eBubbles; Slate Rooster
Clock, Shaker Tree Braided Rug, The
Orvis Co.; Leaf Design Bowl,
Midwest of Cannon Falls; "It's A
Wonderful Life" Sign, Sturbridge
Yankee Workshop; Northern Hard
Maple Cutting Boards, Kretz Lumber
Co., Inc.; Floral/Greens in Small
Basket, Wisconsin Craft Market

DINING ROOM (p. 114)
CHANDELIER: Tubular Arm Metal
Chandelier (9419) in Black; Supplied
by J.R. Coppersmythe; Installed by
Complete Control, Inc.

FURNISHINGS: Hickory Dining Table, Hickory Chairs, Jerry's Woodworking "Hillside Orchard" and "Shepherd Hills" Prints, Sturbridge Yankee Workshop

REAR HALL/GARAGE ENTRY

ENTRY DOOR: Insulated Steel Style #262G in Green by Therma-Tru Doors: Installed by Golden Eagle Log Homes

FURNISHINGS: Log Shelf, Cabin Fever, Inc.; 2½x5 Pinecone Runner (MK12), MKR Design, Inc.

REAR ENTRY/HALL (p. 115) ENTRY DOOR: Insulated Steel Style #262G in Green by Therma-Tru Doors; Installed by Golden Eagle Log Homes

FURNISHINGS: "Garden of Delights" Limited Edition Print, Nicolet Studio; Country Garden Watering Can — Buttermilk, Plow & Hearth; Hummingbird Lightswitch Cover and Coat Rack, Steel Silhouettes; Shaker Peg & Plate Shelf, Sturbridge Yankee Workshop.

UTILITY ROOM (p. 115)
FLOORING: Mannington Mills, Inc.
Naturals Vinyl in African Slate;
Supplied and Installed by Carpet
City

Continued on page 128



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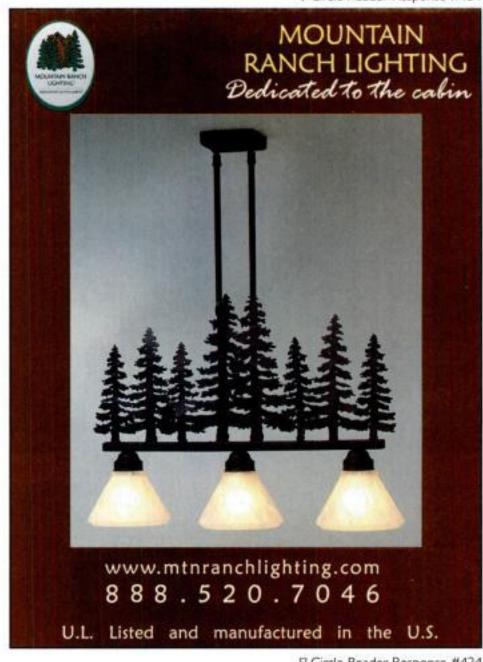
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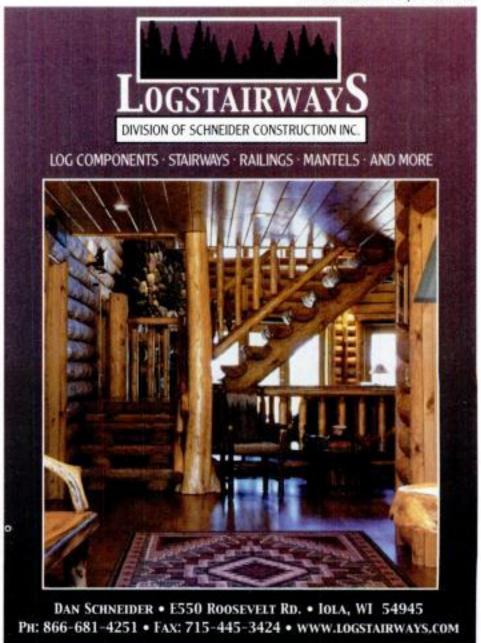
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Double Eagle **SOURCES**

CABINETRY: Hampton Square Hickory with Natural Finish by HomeCrest Cabinetry; Installed by Bluff View Construction

COUNTERTOP: Pionite Decorative Surfaces Suede Laminate in Navy Crepe; Supplied by Quality Kitchen; Installed by Bluff View Construction

SINK: Transolid Solid Surface Sink in White; Supplied by Central State Supply; Installed by Advantage Plumbing & Heating, LLC

APPLIANCES: Kenmore 3.7 cu. ft. IEC High-Efficiency Front Loading Washer (HE3T) in Bisque; Kenmore 7.0 cu. ft. Electric Dryer with EvenHeat Automatic Temperature Control (HE3) in Bisque; Supplied and Installed by Sears of Wisconsin Rapids

MASTER BEDROOM (p. 116) CARPET: Shaw Industries Relaxed Living in Gentle Wind; Supplied and Installed by Carpet City

FURNISHINGS: Distressed White Screen Door Cabinet, Bean's Boats: Queen Cottage Iron Bed - Milk White, Queen Vinca Watercolor Quilt, Shams and Flannel Sheet Set. 3x5 Periwinkle Double-Weave Braided Rug, All Seasons Thermal Blanket - Sunflower, Capiz Birdhouse Lanterns, Cottage Chair Milk White, Embossed Denim Chair Slipcover, Summer Bouquet Wreath, L.L. Bean, Inc.; Pillar Candles - Navy/Cologne, French Blue/Ambience, Candle Corporation of America; Aromafloria Phytobody Lotion with Pump - Stress Less, Starfish Oils Body & Massage Oils -Tranquility, eBubbles; Oval Picnic Tin, Ceiling Tile Tea Pot, Crimped Basket, Birdhouse Ornaments and Wall Pocket, Garden Chair Shadow Box Frames, Midwest of Cannon Falls; Spring Flower Mirror, Plow & Hearth, Inc.

MASTER BATH (p. 117)

JETTED TUB: Fiberglass 60" One-Piece Gelcoat 10-Jet Bodywrap System (SB-3660) in Bone; Supplied by Aker Plastics Co., Inc.; Installed by Advantage Plumbing & Heating, LLC SHOWER: Fiberglass 78" One-Piece Gelcoat Module (NAS) in Bone; Showerite 72" Pacer Pivot Ouick Fit. Door (SPQF5G) in Gold with Hammered Glass; Supplied by Central State Supply Corporation; Installed by Advantage Plumbing & Heating, LLC

FURNISHINGS: Granny's Green Screen Door Cabinet, Bean's Boats; Pillar Candles, Candle Corporation of America: Cotton Roll Bath Pillows, Cotton Waffle Weave Spa Slippers, Natural Grass Sea Sponge - 5"-6", Aromafloria Ocean Mineral Bath Salts - Stress Less, Get Fresh Body Wash - Lemongrass Lavendar, Get Fresh Body Lotion - Starfruit Pear, Classic Long-Handled Bath Brush, Fruits & Passion Candles, eBubbles

STAIRWELL (p. 118) LOG STAIRS: Open Tread Log Supplied by Lewis & Son; Installed by Dean Lewis

LANDING: 1x6 Center Match Yellow Pine; Supplied by Weeks Forest Products; Installed by Bluff View Construction

LIGHTING: Pinecone Profile Sconce with Black Powder Finish and Iridescent Glass; Supplied by Vision Metwalworks; Installed by Complete Control, Inc.

FURNISHINGS: White Cedar 7' Classic Canoe Bookcase, American Traders: 5x7 Adirondack Frame. Adirondack Country Store; "Wild Stream" Framed Print from Dick Idol's High Country Heritage Collection by J. Edward Fine Art & Mirror, Inc.

LOFT/CATWALK (p. 119) RAILING SYSTEM: Peeled Log White

Cedar; Supplied by Posts & Rails/The Armstrong Creek Company; Installed by BluffView Construction

FURNISHINGS: Regular Rocker, Pioneer Log Furniture; Log Cabin Quilt - Navy/Light Blue, Perfect Cabin Ouilt, Hidden Cabin; Root. Beer Bear Lighted Sculpture, Meyda Tiffany; Mountain Cabin Rug, Adirondack Country Store; Red Cedar Display Canoe Sofa Table, Medium Loon by Bundy, American

Traders; Fish and Bear Accent Pillows, Devereux Designs; Poplar Leaf Pendants, Meyda Tiffany; Clear Pine Cone Light String, Midwest of Cannon Falls; "Feathered Friends" Limited Edition Print, Nicolet Studio

BEDROOM 2 - GUEST ROOM (p. 121)

CARPET: Shaw Industries Relaxed Living in Gentle Wind; Supplied and Installed by Carpet City

FURNISHINGS: Bed, Dresser, Rocker. Woodland Creek Furniture & Gallery; Etched Brass Lake Scene Table Lamp with Deco Mission Base, Meyda Tiffany; Log Shelf, Cabin Fever; Inc.; Shaker Storage Bench, Sturbridge Yankee Workshop; Original Art, Nicolet Studio; Weathered & Sandblasted Wood with Forged Iron Inlay Table Lamp, Lake Fork Forge: "Misty Pines" print, Adirondack Country Store; Pinecone Robe Hook, Cabin Fever, Inc.; Full/Queen Battenkill Cotton Tartan Quilt, Shams, Pillows and Skirt, 4x6 Avignon Jute Tapestry Rug, Natural Pheasant Garland and Wreath, The Orvis Co.

BEDROOM 3 — CHILD'S

ROOM (p. 120)

CARPET: Shaw Industries Relaxed Living in Gentle Wind; Supplied and Installed by Carpet City

FURNISHINGS: Twin Bunk Bed. Pioneer Log Furniture; Trick Roper Table Lamp, Frontier Mfg. LLC; Native American Accent Pillow, Devereux Designs; Bucking Bronco Desk Lamp with 12" Laced Shade, Colorado Dallas, Inc.; 5x7 Cowboy Boot Area Rug (MK2), MKR Design, Inc.: 23* Cowboy Roping Cattle Plaque. Cowboy on Bucking Bronco Lightswitch Cover, Rearing Horse Lightswitch Cover, Cowboy on Bucking Bronco Coat Rack, Steel Silhouettes; Rearing Horse Shelf Brackets, Boot Bookends, Cowboy & Cowgirl Garment Hooks, Colorado Dallas, Inc.; Real Raccoon Tail Hat, The Orvis Co.; Conestoga Ranch Lincoln Logs set, Big Valley Barn Lincoln Logs set, Lincoln Logs/Knex; Maurice Pledger Children's Books, Silver Dolphin Books

SECOND FLOOR BATH

SHOWER: Fiberglass LS48 in Bone: Supplied by Central State Supply Corporation; Installed by Advantage Plumbing & Heating, LLC

SHOWER DOOR: Showerite Pacer Framed By-Pass (845) in Silver with Hammered Glass: Supplied by Central Supply; Installed by Bluff View Construction



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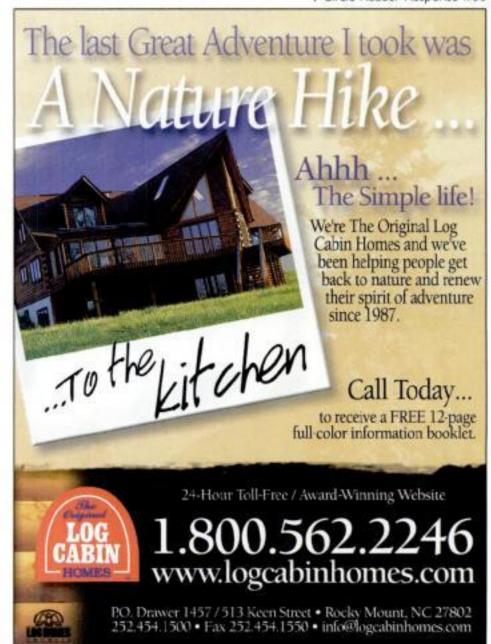
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PLANNING GUIDE 2003

long-range Planning

Linda and Tony Em took their sweet time planning a retirement home. Now, after more than a decade of researching, planning and revising, they spend lazy days in a log home designed for lake views — and how sweet it is.



The Em home sits about 100 feet from Lake Murray. Even from that distance, the Pella windows look huge. "We realized the windows were big but we didn't really understand how big until we were installing them," Tony says. "Especially when we were putting in the top sections. We were definitely pleased."

BY JAY UHLENBRAUCK PHOTOS BY ROGER WADE STYLING BY DEBRA GRAHL f you want something done right, do it yourself.
New Jersey natives Linda and Tony Em took this approach when designing their South Carolina retirement home. As a result, they have a log home that fits them like a glove. Retirement has to wait, though.

"They moved to South Carolina to retire, but they're both very young and lively," says Jan Koepsell of Expedition Log Homes, the company that helped make the Ems' log home dream a reality. "Given the number of years they spent planning their home, they had become quite knowledgeable about log homes."

So the Ems postponed retirement and became Expedition Log Homes representatives. Jan says it's not unusual for log home owners to become dealers. In fact, they're a natural fit.

"Log home owners talk about their homes so much anyway," Koepsell says. "You don't really see that with other types of homes. You don't see people talking about their brick home. With log homes, people not only talk about it, they show you pictures."





Tony cut indentations into the mantel to make it look more rustic. Pine stairs and cedar railings bring subtle wood touches to the great room. "We have all different types of wood throughout the house," Tony says, "and it all blends so well."

A Good Map

Most successful journeys begin with a good map. The Ems took more than 10 years to plan their log home. They pored over stacks of log home magazines and attended several open houses. When it came time to plan their log home, they just compiled ideas they turned up during research.

"We'd say, 'I want those windows, but ...,' and 'I want that fireplace, but ...," Linda says. "Then we took our favorite rooms and put them together into one house." The couple knew they wanted a rustic style but they weren't completely sold on full-log construction. When they attended an open house featuring a halflog home built by Expedition dealer/ builder Larry Braun, they knew they had found what they were looking for.

"We walked in and said, 'Oh my god, this is our dream house," Linda says. "We just fell in love with it."

Linda drew up a rough plan, then the couple worked with Expedition architect Scott Remington until they had exactly what they wanted. The result is a 2,400 square foot half-log home with

expansive windows, dramatic roof lines and a healthy marriage of rustic and modern style.

The time and effort Linda and Tony put into planning their home paid off. Now the couple whiles away afternoons 50 feet above beautiful Lake Murray in a one-of-a-kind log home designed to take advantage of lake views. The home turned out so well, the best view may be from the lake looking up.

Half-Log Heaven

There's a saying: you can take the boy out of the country but you can't take the country out of the boy. Apparently that applies to city folks as well. Linda and Tony were looking for something rustic, but they weren't ready to give up city style and modern convenience.

The only interior log walls in their home are in the great room and dining room. The rest are drywall. The contrast gives the home a best-of-both-worlds effect and allows the logs to stand out as a dominant, but not dominating, design element.

"We wanted it to be comfortable and laid-back like the country, but with a city touch," Linda says.

Half-log construction was a perfect fit for the Ems. The logs lend the home a traditional feel while the drywall offers design flexibility and a clean, modern look.

The couple perfected this marriage of materials in the great room. Drywall and an elegant wall of windows work in concert with log work, hardwood floors, leather furniture and a Mississippi river rock fireplace to create an eclectic yet harmonious effect.

"The great room is what we're most happy with," Linda says. "It's very cozy. It feels like a lodge."



Tony liked that half-log homes incorporate conventional stick-frame construction techniques. Having spent more than 20 years running a plumbing and heating business, he planned to do the plumbing for this home, so anything that made the job easier was a bonus.

"It was just like [plumbing] a regular stick-frame home," Tony says. "In fact, it was easier because it was 2x6 framing instead of 2x4, so there was more room to work with."

OSB (Oriented Strand Board) sheathing was attached to the 2x6 studs and sandwiched around R-21 high-density insulation. The 8-inch pine half logs were then toe-nailed to the studs and attached to adjacent logs with OlyLog fasteners. The logs were hand-scribed at the corners to form a full saddlenotch corner system.

Bells & Whistles

Although the Em home isn't what you would call extravagant, some of its features are extraordinary. Take, for instance, the octagonal bump-out off the dining room.

"We built it around an oak table we bought 10 years ago," Tony says. "We always had it in mind to build a little nook off the dining room."

That little nook added a lot of labor and cost to the project. "Those types of installations are a challenge," Braun says. "From the octagonal footings to the final trim, it's a very labor intensive project." But for what it adds to the home, Braun and the Ems are in agreement that it was a worthwhile pursuit.

"The space doesn't add much square footage but it adds interest," Braun says. "It's beautiful." The expansive Pella windows are the Ems' pride and joy, however.

"That's the one thing we had to have," Linda says. "They are top of the line windows. They're easy to open and close, easy to clean, they're very well insulated ... they were well worth the cost."

The tall windows, which reach nearly 26 feet in the great room, forced the Ems to incorporate unique roof lines into the home's design. A gable roof line spans 50 feet and cradles the octagonal bump-out and a gabled extension over the master bedroom. A dormer juts off the side of the home from a second-floor guest bedroom. The resulting dramatic angles frame the round-top windows and complement the horizontal pattern created by the logs.

Full Service Operation

Although Expedition's half-log system was a big selling point, the Ems chose the company for other reasons, including their all-inclusive package.

"They were very up-front with what was included in the package," Tony says, "and it was pretty much everything we needed to build the home except the hardwood floors."

Since the couple was acting as their own general contractor, they needed to know they could rely on Expedition to answer their questions.

"If I had to call 10 times a day with 10 different questions, they were always there to answer me — and quickly," Linda says, "which is important because time is money when you're building your own home."

In early 2001, the first delivery was made to the site. It included the floor system, wall framing, sheathing, roofing, structural logs — basically everything needed to enclose the home. The second package, which included the logs, stairs and railing, arrived a couple months later.

Continued on page 138







"We couldn't wait to move in,
we were very anxious to start
living in the home we had been

about for more than 10 years."



The bay window over the kitchen sink (opposite) is the perfect place for green-thumb homeowners like the Ems to display potted plants. Linda hand-painted leaf moulding around all of the kitchen's windows and doors. Durable Corian countertop surrounds a stainless steel undermounted sink. It was important for the Ems to have a good working kitchen (below). A functional wet bar sits between the refrigerator and stove."That's my spot,"Tony says, "I love to cook." Linda often enjoys a glass of wine while watching him work his culinary magic. "She makes the reservations," Tony jokes. A gabled tongue & groove roof section accommodates large round-top windows over sliding glass doors in the master bedroom (left). Stain-resistant carpeting offers cozy comfort.



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The back of the home faces the driveway so large windows along the front can be oriented toward the lake. The Ems incorporated small gabled portions into a larger gable roof to break up the roof line: "It looked too blah otherwise," Tony says. As a former public safety officer, Tony insisted on a detached garage as a fire safety precaution. "I've seen too many accidents," he says.

Continued from page 134

Larry Braun, who had patiently answered the Ems' questions for a decade while they planned their home, kept tabs from his office in New Jersey.

"I gave them a bunch of film and

some mailers and had them take pictures of the construction to keep me updated," Braun says. "I knew where they were the whole time."

The Ems moved into the home August 2001. "The house went up fast," Tony says. "It went pretty smoothly." Fast wasn't fast enough for the Ems, though.

"We couldn't wait to move in," Linda says. "We were very anxious to start living in the home we had been dreaming about for more than 10 years."

The Em Residence Floor Plan

Courtesy Expedition Log Homes



FIRST FLOOR



SECOND FLOOR

RESOURCES:

Expedition Log Homes P.O. Box 700080 Ootsburg, WI 53070 Phone: 877-250-3300 www.expeditionloghomes.com

Larry Braun Expedition Dealer/Builder P.O. Box 17 Branchville, NI 07826 Phone: 800-874-5647 E-mail: trilogs800@aol.com

Linda & Tony Em Expedition Homeowners/Dealers Batesburg, SC Phone: 864-445-3093 E-mail: lindantonyem@aol.com

Olympic Manufacturing Group, Inc. (OlyLog fasteners) Phone: 800-633-3800 www.olyfast.com

Pella Corporation (windows) www.pella.com

Floor Plans 101

Linda and Tony Em know the value of planning. They spent more than 10 years designing their log home and now act as representatives for Expedition Log Homes. According to them, you may be holding the best tool for planning your log home.

"We looked through a lot of magazines," Linda says. "It helped us decide what we liked, and maybe more importantly, what we didn't like." Before you get too far in the design process, however, Tony says it's important to do a thorough analysis of your needs.

"You have to ask yourself lifestyle questions," he advises. "Are you going to do a lot of entertaining? If so, you need a big great room. Do you like to cook? If so, you need a kitchen that is functional. You have to explore your lifestyle needs." And nothing beats the experience of walking through a finished log home.

"If you really want to get a feel for how to design your home, the best way is to go to log home shows," Tony says. There you'll have an opportunity to speak with log home professionals from all segments of the industry.

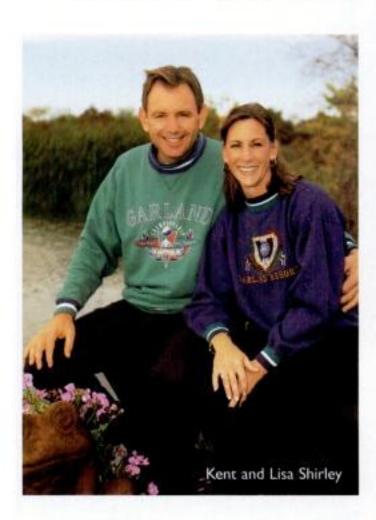
"We help people narrow down what they're looking for," says Expedition representative Jan Koepsell. "Most people aren't like the Ems where they have everything planned out." And with custom homes, there are tons of options and considerations.

"People don't usually pick a plan and say they want exactly that home," Koepsell says, "Floor plans are there to give people ideas. Often homeowners take ideas from several plans."

Prairie Grass and

Not too far off the beaten path, an Illinois couple combines everyday life with vacation living.

BY ANDREW WORMER PHOTOS BY ROGER WADE STYLING BY DEBRA GRAHL



Sited on former farmland not far from busy Champaign, Illinois, the Shirleys' Swedish cope-style log home (opposite) is private but still convenient to work and shopping. A 1-acre man-made pond behind the house provides wildlife habitat and a home for a pair of mated swans.





ent and Lisa Shirley's last house was perfect. It was located on a quiet cul-de-sac in an established subdivision bordering a golf course. The neighborhood was safe, convenient to schools and work, and filled with playmates for the couple's two children.

But over the years, developmental pressure brought growth to the neighborhood, the cul-de-sac became a busy thoroughfare and the Shirleys' children began preparing for college. It was time to make a move.

Moving To The Country

Kent and Lisa shared a lifelong dream of living in the country. But there isn't a lot of desirable undeveloped country in the Champaign, Illinois, area, so the couple spent a long time looking for the right piece of land. When they finally found a parcel they liked, there was no easy way to access it. Kent, a native of the area, approached Mike Specchio, a neighboring landowner, to see if he would allow them an easement



Though not part of the original plans, the covered front porch (above) has proven to be a welcome addition that shelters guests from the weather. This section of the home (opposite) features vaulted ceilings conventionally framed with trusses and dressed up with decorative log purlins. An antique French musket dating from 1777 hangs over the woodburning fireplace.







The downsized kitchen (above) has plenty of storage and counter space to meet the couple's needs. Supported by a log post, a table-like extension of the laminate countertop requires less room than a larger island yet provides plenty of informal seating. The custom-built maple cabinets match the hutch in the adjacent seating area (opposite). Separated from the kitchen by cabinets that feature a pass-through for dishes, the dining area (below) is part of the larger great room. Tall windows look out over the deck toward the pond and woods.



Sensing that Kent and Lisa shared his sense of land stewardship, Specchio agreed to sell them half of a nearby 80-acre parcel. He had allowed the marginally productive former farmland to revert back to prairie grass and goldenrod over the previous decade.

Specchio — or Spec, as he prefers to be called — is a large-scale crop farmer and small-scale "developer" who doesn't really develop much of the thousands of acres of rural land he owns. But both he and the Shirleys share the same vision, preferring a natural environment enhanced rather than transformed by human habitation.

"To me, Kent and Lisa exemplify what people moving out into the country should do," Spec says. "Instead of clearing the land and planting a huge lawn, they've actually made the habitat better by planting trees and native wildflowers and creating wetlands."

"We really liked the natural beauty of the property," Lisa says of the couple's 40 acres, which is bordered on the western side by the Sangamon River. "Recently we bought another 10 acres of former farmland directly to our east to help protect the natural views we have and to keep it from being developed. Since Spec hasn't built on his half of the land, and doesn't seem to have any plans to at the present time, we've been fortunate enough to be able to enjoy the beauty of the entire 80acre parcel without a house in sight."

In The Pages Of A Magazine

Even before Kent and Lisa bought their land, they dreamed of building a log home.

"I've always dreamed of having a house that rivals those in a magazine," Lisa says. In fact, it was a magazine advertisement for Michigan's Garland



Kent and Lisa downsized the kitchen so they could add this small, informal living area, a perfect place for snuggling up with a good book in front of the gas-fired stove. The entertainment center was stained to match the kitchen cabinetry.

Resort that helped Kent and Lisa turn their dreams into reality.

Lisa was impressed by the facilities promised at the resort; in addition to the main lodge, which is the largest log structure east of the Mississippi, the resort features four golf courses and a private airstrip. Later that year, Kent, an avid golfer and a pilot, surprised Lisa by proposing a long weekend at the resort.

"We flew up there and fell in love with both the different types of log homes that had been built on the grounds and with the lifestyle," Lisa says. In fact, she and Kent liked it so much they bought a log cottage on one of the golf courses and put it into Garland's rental management program. Later, when Kent flew his parents up to see the resort, they were so impressed they purchased a building site on the 13th fairway of the Swampfire golf course, where the Shirley family hopes to soon build another log home.

Dreams To Design

When they finalized their land purchase in Illinois, Lisa and Kent were ready to take the plunge. They began talking to Bob Hritz at the Garland Homes Michigan office to get more information about the various types of log home packages the company had to offer.

"Before getting started, Bob asked us how strong our marriage was," Lisa remembers with a laugh. Mindful of

Planning A Home Is A Give And Take Process

When Lisa and Kent Shirley began planning their home, they had a pretty good idea what they were looking for.

"Our kids were grown and away at school," Lisa says of her desire to have an open floor plan with only a master bedroom and a single guest bedroom. "We wanted living areas that didn't have low ceilings overhead. We didn't need a lot of bedrooms."

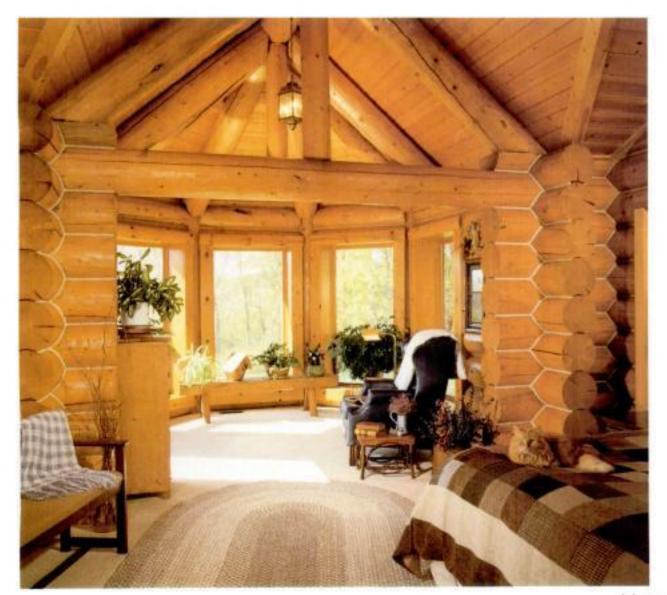
But the couple were also wise enough to remain open to ideas from Garland Homes. They worked with representative Bob Hritz, and later Bill Fritzer, to develop their plans.

"I knew where I wanted everything to go, and Garland had some good ideas of their own," Lisa says. "They suggested the beautiful front porch and also helped considerably with the layout of the kitchen, which was probably the hardest part of the house to design."

At Garland's suggestion, the kitchen was downsized to more accurately meet the needs of a couple (versus a larger family), and a large island originally drawn in the design was replaced with a smaller, more intimate kitchen table that's incorporated right into the countertop. A pass-through to the dining room was added to make it easier to ferry dishes between the kitchen and dining room during formal meals. As an added bonus, the smaller kitchen opened up an informal seating area perfect for chatting with the cook.



The first-floor master bedroom has pastoral views toward the north and is warmed by a quilt handmade for Lisa by one of her mother's best friends (above). Eddie the cat lounges on Kent and Lisa's bed (below), which faces a log turret-shaped sunroom that looks out over the back pond and offers a cozy, bright sitting area.



the stresses new home construction can put on a marriage, Lisa and Kent made a pact: Kent would handle the details surrounding the land, Lisa would handle the house.

"It was hard sometimes, because I'd be looking at all of these light fixtures and Kent would say, 'I'm not worried; I'm sure whatever you pick out will be fine.' And you know, dividing the responsibility this way really did work out well," Lisa says.

"In our part of Illinois, log homes are fairly unique," she continues. "But Garland assured us we didn't need a log specialist to build one of their log homes." So Lisa gathered photos of details she liked and put her dreams down on paper by sketching a floor plan with the features she and Kent were interested in.

At about 2,600 square feet, the Shirleys' Swedish cope-style home is designed primarily for single-level living, though it does have a full basement and a 480 square foot loft with its own half bath. The log package was precut at Garland's Montana yard out of hand-peeled 12-inch diameter deadstanding Engelmann spruce logs. Spec's crew erected the home on-site in 1997.

"Even though our crew had never built a log home, we had very few problems," Spec recalls. "Garland's log package was pretty complete and their detailed construction drawings really helped." All in all, it took about 10 months from the time the foundation hole was dug to when Kent and Lisa moved into their new home.

Making The Most Of The Land

Kent and Lisa's house is sited in the approximate center of the property, accessed by a quarter-mile asphalt lane lined with mature pine trees. "We thought about putting the house in the trees, but there were a lot of negatives with that location," Lisa explains. "We knew bugs and humidity would be a problem and besides, the house is a lot brighter located here in the open. Here we can see the sun rise and set each day."

Spec not only built the Shirleys' house, he also used his farm equipment to dig two ponds now fully stocked with a variety of fish. A smaller %10-acre heart-shaped pond is at the front of the house; a larger 1-acre pond behind the home attracts deer and other wildlife and serves as a home for ducks and a mated pair of swans given to the couple by Spec. Even though this is a four-season climate, with hot humid summers and cold winters, the birds stay year-round thanks to an aerator that keeps much of the pond ice-free in winter.

"We worried a little bit about predators," Lisa says, "but Spec assured us the swans could take care of themselves."



The loft, which overlooks the kitchen and informal sitting room, has its own half-bath and was formerly a bedroom. Now it is used as an office and reading area. The horse on the chest is a commemorative re-issue of a classic Breyer design by Lisa's father, who was the primary sculptor for Breyer Animal Creations, long noted for their realistic injection-molded horse models.

The Shirley Residence Floor Plan

Courtesy Garland Homes



OPENTO BELOW

SECOND FLOOR



Even on an autumn day, the outdoors beckons, particularly with a fire in a Mexican chimnea to warm things up.

Lindsay, the Shirleys' 14-year-old yellow lab, keeps watch over things.

Rolling With The Changes

In the six years Kent and Lisa have been living in the home, most of the work they've done has been to the landscaping, with the considerable help of local landscape designer Steve Schuren. They've also renovated their guest bath to give it more character and included a tile alcove surrounding a large clawfoot tub. One upgrade Lisa is considering is a granite countertop for the kitchen. While the original laminate counter has proved durable and easy to maintain, it has a limited lifespan. Granite lasts a lifetime, which sounds about how long the couple plans to live in their log home. All in all, the Shirleys are very happy about their move to the country.

"We've even started a deer antler collection, which is something we never would have thought of doing while living in our other house," Lisa notes. "Searching for the antlers — which are [shed] in the wintertime — makes for a delightful way to spend a snowy Sunday afternoon with Blue, our adopted cattle dog. We feel like we're pretty lucky because we have the luxury of living full-time in a home that makes us feel like we're on vacation."

Andrew Wormer is a contributing editor with Fine Homebuilding magazine and the author of The Bathroom Idea Book (Taunton Press, 1999).

SOURCES:

Garland Homes 2172 Hwy. 93N Victor, MT 59875 Phone: 800-642-3837 www.garlandhomes.com

Garland Homes Michigan (distributor) 302 Antler Ct. Lewiston, MI 49756 Phone: 989-786-1371

Mike Specchio (general contractor)
Specchio Farms
1489 County Road 2800 N
Rantoul, IL 61866
Phone: 217-892-8888 (office)
217-892-9499 (home)
E-mail: spec3333@aol.com

RESOURCES:

Schuren Nursery (landscape designer) 9473 E. 2250 North Rd. Danville, IL 61834 Phone: 217-776-2457 (office) 217-202-1591 (cell)

Elmira Stove Works (appliances) 232 Arthur St. S Elmira, ON Canada N3B 2P2 Phone: 800-295-8498 www.elmirastoveworks.com

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Sited on farmland now reverting back to prairie grass and goldenrod, the home is surrounded by woods and meadows. Perennial flowerbeds featuring boxwoods, hostas, coneflower and black-eyed susans complement a reasonably-sized, easily-maintained lawn.



Research project

A chalet-style log home in central Oregon doubles as a model for a busy couple's dealership

ne anniversary, Chris Wheeler surprised her husband, Cliff, with an unusual gift. It was a cabin she'd made out of toy Lincoln Logs. Soon after, the couple would build the real thing.

"I made a replica of our property for him. I came to realize later they have Lincoln Logs for adults too," Chris jokes.

Following directions from a guide book provided by The Original Lincoln Logs Ltd., a log manufacturer based in New York and California, the Wheelers built their own 2,289 square foot chaletstyle log home on a 5-acre pond in Bend, Oregon.

"Chris and I stacked the logs and our son did all the framing," Cliff says. "We took the project from raw land to finished product."

Progress was slow at first. "I remember thinking that maybe I had bit off more than I could chew," Cliff says. "The first day I spent three or four hours making that first cut into a log. From that point on, it got easier and it went pretty smoothly."

Good thing it did. Otherwise, who knows what might have happened to the Wheelers' career plans.

Going Home Again

For the past seven years, Chris and Cliff have been Original Lincoln Logs dealers in Bend, their hometown. Before that, Cliff was involved in commercial high-rise development in Portland, where the couple lived for more than 25 years.

"I was a glorified general contractor," Cliff says. "But I was never hands-on."

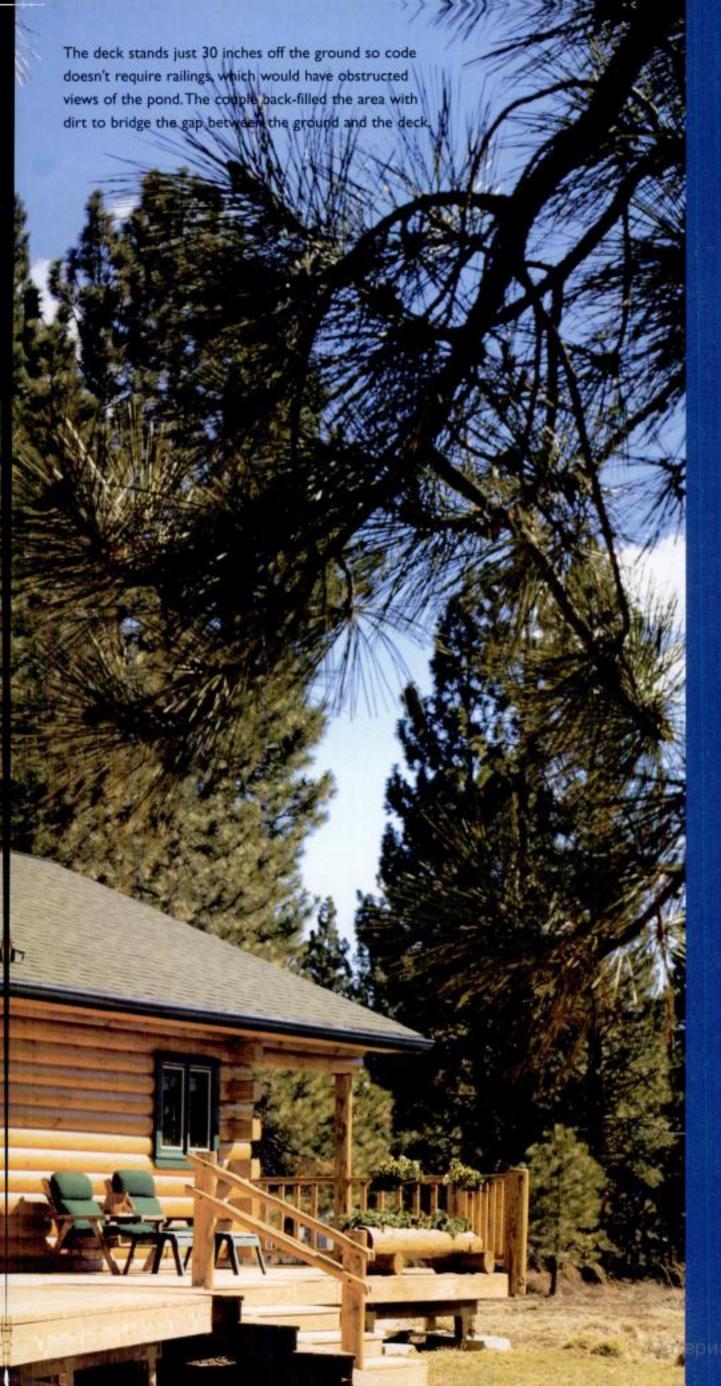
At the same time, the Wheelers ran a pottery business, hand throwing 10,000 pieces a year. Busy as they were, city life began to wear on the Wheelers.

Continued on page 154

BY PETER LINDBLAD PHOTOS BY ROGER WADE STYLING BY DEBRA GRAHL







Advice From Chris & Cliff Wheeler

Some people fear change. Chris and Cliff Wheeler welcome it. While building their log home, the couple made a number of on-site alterations. "We were always trying to be creative," Chris says.

To stay flexible, the Wheelers waited to put up interior partition walls until they figured out the exact dimensions of each room.

"We cut out cardboard templates of our furniture to determine the size of every room," Chris says. "To represent the walls, we put snap lines on the floor to see how big the room should be."

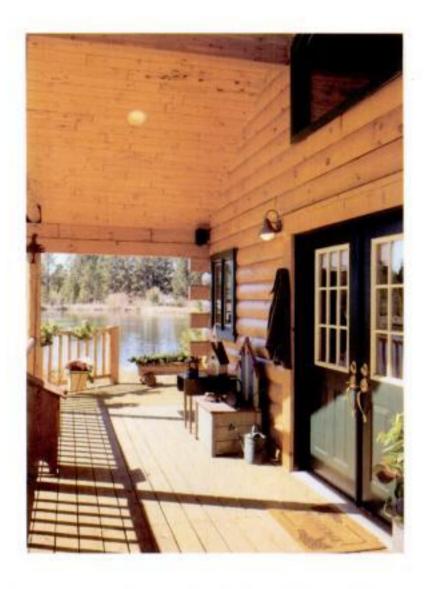
The philosophy was simple: snap lines are easy to move, walls aren't.

As dealers for Original Lincoln Logs, the Wheelers try to get their clients to be just as open to new ideas. One piece of advice they always give: work with a lighting consultant.

"It's critical that you provide enough light for your home for now and for the future," Cliff says. "As you age, you require more light."

As a complementary service, the Wheelers send their clients to see lighting consultant Thane Van Gilder at Design Lighting during the initial design process. A lighting consultant helps identify a home's task and ambiant lighting needs.

"I explain what's available to them and help with the placement," Van Gilder says. "Some people are predisposed against certain lighting and I try to present what's good and bad about those options. But in the end, it's your house and I don't want to override what you want." A covered porch protects the home's entryway from the elements (right). The doors, which open onto the kitchen, can be seen at the left edge of the photo on the opposite page. Recessed lighting and sconces in the overhang "softly wash the porch at night," Chris says. The kitchen sink (below) overlooks Baker Pond. The log post in the corner is left over from another post carved for the loft. "It adds a rustic feel," Chris says.





Continued from page 150

They longed to return to Bend. Problem was, they had no source of income there. Then fate intervened.

"We were sitting around in a vacation cabin over Christmas break and we heard a radio commercial for a log home company," Chris says. "It said they were looking for dealers."

At that point, Cliff says, the light bulb came on.

The couple researched employment opportunities offered by log home companies while searching for a log package for the home they planned to build. When they discovered Original Lincoln Logs, they found a company that fulfilled all their needs. Original Lincoln Logs provided instructions to build a home with its 8-inch D-style milled eastern white pine logs — and jobs. The couple's home would become the model for Chris and Cliff's dealer-ship.

Finding Water

As the research process continued, the Wheelers tied up other loose ends. First they found land to build on.

"A real estate agent showed us what was available," Chris says, "and she said she had this property that had a little bit of water. I was thinking it had a little creek running through it or a puddle or something."

What Chris didn't know was the 10acre parcel bordered Baker Pond, where she ice skated as a little girl.

"When we [originally] left Bend, you couldn't give land away in this subdivision," Chris says. "The neighborhood changed so much. The real estate agent showed us this piece of property and then when we went back out there with my folks, my mom said, 'You know what road this is, don't you? It's Baker Road."



Thane Van Gilder of Design Lighting helped the Wheelers choose lighting that serves various tasks and uses. Windows above the kitchen sink bring in an abundance of natural light.

After the Realtor declared the parcel buildable, "It took us about five minutes to say that's it," Cliff says. "We signed the closing papers on our 25th wedding anniversary." That was in 1994. The couple completed plans for their house a year later and took delivery of their logs in 1996. Nine months later, Chris and Cliff moved in.

Timing Is Everything

Time was of the essence. Cliff had taken a three-month sabbatical from his job in Portland to work on the house. "We figured we'd have it all shelled in

by then," he says. They didn't plan on waiting six weeks to get a building permit.

"I ended up commuting 160 miles to go to work four days a week and then come home for three days to work on the house," Cliff says.

Stacking the logs was easy — with the help of an engine joist. "It's an Aframe hydraulic jack they use to take engines out of cars," Cliff explains. The unit's extension arm raised the logs to the appropriate height. Chris and Cliff raised the logs in 14 days.

"A lot of people are surprised because they think you need a crane or a boom truck to do it," he says. "But with that jack, even a middle-aged couple like us could do it."

The logs were spiked together, although Original Lincoln Logs now uses a lag bolt system. The home features two corner systems. Inside the house, Original's standard notch-and-pass system, which has a ladder-like appearance, is visible. "One log is mortised into an outer log," says Mike McLaughlin of Original Lincoln Logs. "It's like mortise-and-tenon joinery."

Outside, Original's optional Western corner system provides more of a stacked log look.



The deck on the back side of house is easily accessible from the dining room. Just to the left is the kitchen.

An open floor plan allows for ease of movement between the two rooms.

The Bigger, The Better

The home's design is based on a stock plan, the Bristol 3, that McLaughlin says is one of Original Lincoln Logs' most popular designs.

At 1,900 square feet, the Bristol design wasn't quite big enough to suit the size of Chris and Cliff's property. So they enlarged it.

The altered footprint includes three bedrooms, two baths, a kitchen/family room area and a great room with 20-foot tongue & groove ceilings. A prow front full of windows gives that room and others in the house a wide view of the pond.

One of the changes Cliff and Chris made: they replaced an enclosed master bedroom on the second floor with an open loft bedroom. "It looks down over the great room. When we're laying in bed we can see the snow falling outside," Chris says. Privacy isn't an issue since the couple's two grown boys, Dylan and Justin, no longer live at home.

The great room windows were rectangular in the original plan, but the Wheelers couldn't get windows of that shape and size with ultraviolet protection. "While designing the space, we ended up having this big triangular space we needed to fill," Chris says. "We saw a log home advertised somewhere that had glass designed similarly. You probably couldn't purchase glass to match it today."

Nice Touches

A river rock fireplace joins the wall of windows as major focal points in the great room. Cliff fashioned a mantel out of a Ponderosa pine log to hang above it. Across the floor of the home's open living area is 1,000 square feet of ceramic tile that's easy to care for.

Two doors lead to a deck that runs along two sides of the house. Because it's only 30 inches off the ground, the



River rock taken from the Santiam River, a local Oregon waterway, was used to face the fireplace (above). The hearth sits high enough for comfortable seating, "To me a fireplace isn't a fireplace unless you can sit down in front of it," Chris says.



deck doesn't require railings. "We didn't want it to be fenced in," Cliff says.

One of the downstairs bedrooms is currently used as an office. "It could end up being the master bedroom when we retire because it's on the main floor," Chris says. "Actually, we could make those two bedroooms into one big master suite."

For now, the master bedroom remains upstairs. The bath includes a jetted tub with a marble surround. A window above it looks out the prowed front.

In the kitchen, the backsplash features handmade tiles with inserts of bears and dragonflies for a decorative touch. The countertop is made of laminated hard rock maple stained green. The cabinets have a faux white antique crackle finish. Over the sink are two windows with a beautiful view of tall ponderosa pines and dramatic life-anddeath struggles.

"You'll see a lot of waterfowl. Once in a while, you'll see an eagle having a duck for lunch," Chris adds.

Guests drop by all the time to see the house. The Wheelers don't mind showing it off to clients.

"That's the great part of it," Cliff says.

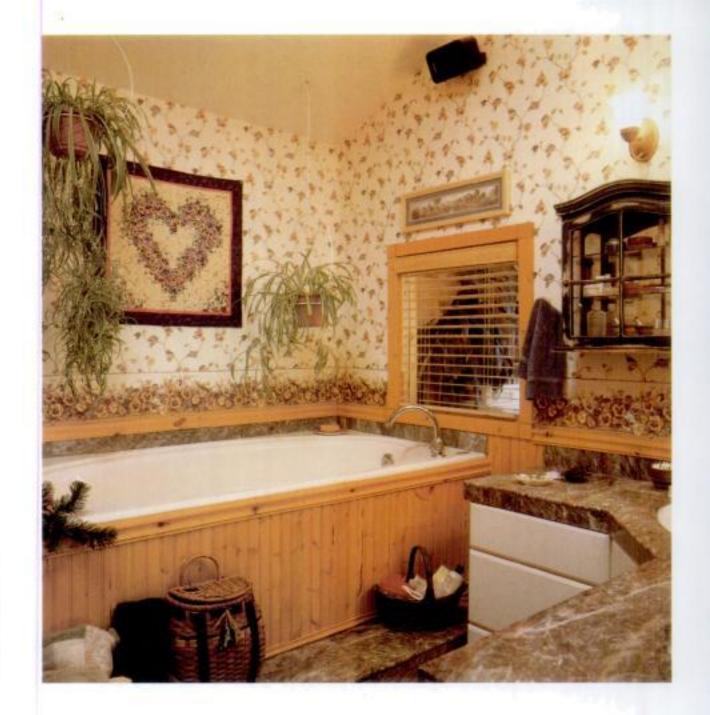
"We can comfortably get 75 people in the house."

When the visitors are all gone, the Wheelers' log home becomes their sanctuary. "It's a place where we can decompress," Cliff says. "No matter where you go in it, there's comfort and softness."

See page 158 for the Wheeler home floor plan and resources.

Near the piano, The Original Lincoln Logs Ltd. standard notch-and-pass corner system is visible (left). "We can stand with customers and show it to them without having to take them outside when the weather might be bad," says Chris Wheeler:

ериал, защищенный авторским правом



The master bath has a window near the end of the tub. "It was our son's idea,"

Chris says. "As Justin and Cliff were setting the tub, they realized that if they put it up another step they could put in a window and create a really cool view."

The Wheeler Residence Floor Plan

Courtesy The Original Lincoln Logs Ltd.







For now, the Wheelers' master bedroom is upstairs in the open loft. Later, the couple could decide to eliminate the partition wall between the two downstairs bedrooms to create a master suite.

SOURCES:

The Original Lincoln Logs Ltd.
Corporate Office
5 Riverside Dr.
Chestertown, NY 12817
Phone: 800-833-2461
www.lincolnlogs.com
California Office
13650 Bowman Rd.
Auburn, CA 95603

Phone: 800-554-5647

Baker Pond Log Works 19434 Riverwinds Dr. Bend, OR 97702 Phone: 888-303-5647 www.bakerpond.com Pratt & Larson Tile 1201 SE 3rd Ave. Portland, OR 97214 Phone: 503-231-9464 www.prattandlarson.com

Design Lighting 1125 Northeast 2nd. St. Bend, OR 97701 Phone: 541-389-9997

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Precision Craft Log Structures
Rocky Mountain Log Homes
Satterwhite Log Homes
StoneMill Log Homes
Suwannee River Log Homes
Tennessee Log Homes
Wilderness Log Homes
WoodsCrest Log Homes

For a list of featured floor plans arranged by square footage, see page 224

FLOOR PLAN TIPS

Some homes show a package price, but not all packages are created equal. Prices could reflect the price of the home as a log shell on your property or it could be the logs delivered to your property on skids.

Call the manufacturer and be sure you understand what is included.

If you find a home that intrigues you, call the manufacturer or fill out the reader response card found in front of this page. Most companies have a reader response number located at the bottom of each page. On the response card, circle the numbers of all the companies from which you would like information and return the card to us, postage paid.

Log home manufacturers have a wealth of material to help you visualize the plan you have seen in this magazine. They have videos and plan books that describe many of their homes in great detail. Again, contact the company and ask what kind of materials they have available.

APPALACHIAN LOG HOMES

I 1312 Station West Dr. Knoxville, TN 37922 toll-free: 800-726-0708 fax: 865-675-2662 e-mail: info@alhloghomes.com www.alhloghomes.com



At Appalachian Log Homes, Inc., our goal is to help make your home building dreams come true. Whether you select one of our predesigned plans or have one of our log home professionals help you create a custom floor plan, the possibilities are almost endless. We have three different log profiles and almost endless combinations of log finishes, from planed smooth to hand-hewn. We use 6x12 Western hemlock and std. Spruce for our walls and the finest Douglas fir for our floor and roof systems. From conception to completion. Appalachian is here to help you every step of the way.

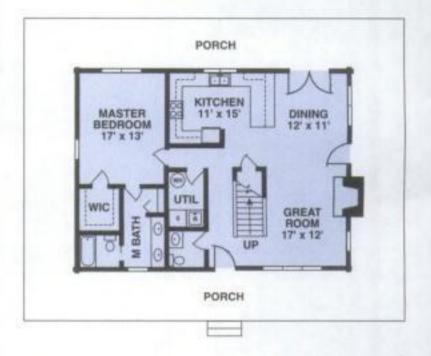
CEDAR

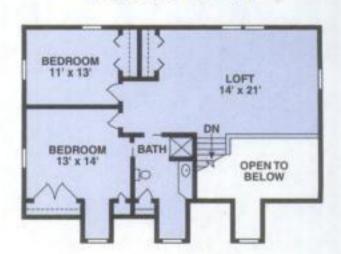
The Cedar Mountain features a first floor master bedroom with a large walk-in closet and bath area. A spacious centralized kitchen is open to the dining and great rooms. The second floor features two large bedrooms and an open loft looking onto the great room. A covered porch wraps all four sides of the home, providing plenty of covered areas to relax in the shade.

First Floor: 1,200 sq. ft. Second Floor: 948 sq. ft. Total Living Area: . . . 2,148 sq. ft.

Plan Book: \$10 Blueprints: \$250

FIRST FLOOR







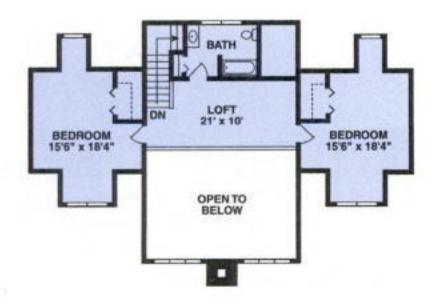


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FIRST FLOOR



SECOND FLOOR



THE PARK

The Park features a large great room perfect for family gatherings. The main floor also features a master bedroom and bath, and utility room and pantry conveniently located off the spacious kitchen. The kitchen is large enough for an island and opens onto the dining room. Two large bedrooms, a loft and a full bath complete the upstairs. This is a great home for family and entertaining.

First Floor:	q. ft.
Second Floor: 911 s	q. ft.
Total Living Area: 2,427 s	q. ft.

Plan Book:					•	٠		•	•	•		٠		\$10	
Blueprints:													9	250	



National Sales Office

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Appalachian Log Structures, Inc. offers a log building system that is extensively pre-cut and includes the log wall, exposed timber frame loft, rafter, dormer and porch systems. Available in eight log profiles, four corner styles, in 6" or B" thickness and pressure treated with a 25-year warranty. Over 60 standard models or custom design.

FAIR OAKS

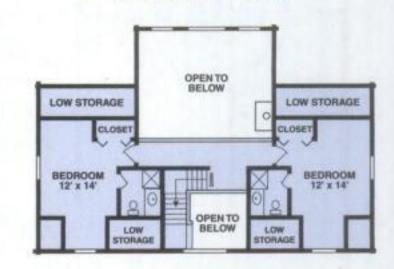
Distinctive Ambiance

The sun rises as you walk from the master bedroom just in time to see a herd of deer grazing
in the morning mist. Butterflies dart from flower
to flower as you sip your second cup of coffee
on the deck's peak. Strolling the expansive
decks and porch of the Fair Oaks will become
part of your morning ritual. Inside, light fills the
air and seems to play as it makes its way
through the front dormer window, casting
shadows from the balcony rails into the spacious living room. There's plenty of atmosphere in this warm and charming loft home.

Call for package prices.

FIRST FLOOR









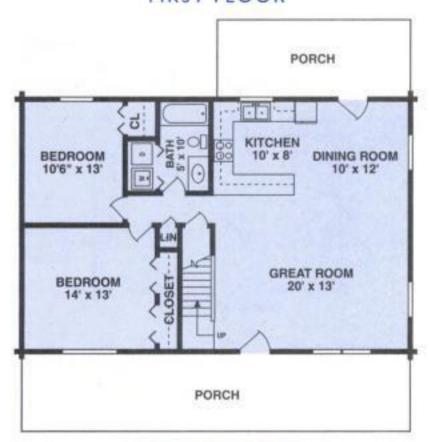
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FIRST FLOOR



SECOND FLOOR



MOUNT **VERNON II**

Yankee Ingenuity

American pioneers were famous for making the most of available resources and this plan follows in their footsteps. Two bedrooms downstairs with the master suite located on the loft level provide privacy to both guest and owner. Plus, the loft is large enough to accommodate a reading nook. When it's time to get together, there's an old-fashioned feeling of communal living to be enjoyed with a kitchen that adjoins a dining room/great room combination. Front and back porches complete this fine example of the log home lifestyle.

First Floor:	1,040 sq. ft.
Second Floor:	580 sq. ft.
Total Living Area:	1,620 sq. ft.
Company Catalog:	\$12
Blueprints:	\$75

Call for package prices.



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RICHMOND

Easy-Going Elegance

Soaring peaks, gables and fanlights create a dramatic exterior and flood the interior with light from the sun, moon and stars. Inside, the Richmond is the perfect combination of large open spaces and cozy intimate retreats. Parties and family gatherings will linger in the highceilinged spaciousness of the great room, while the large master bedroom with oversized bath provides privacy and room to relax. Other upper bedrooms feature a rear dormer for added space. Downstairs, the kitchen walk-out leads to a big, sun-loving deck.

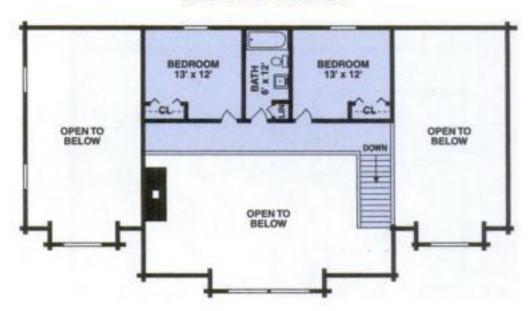
First Floor:	1,870 sq. ft.
Second Floor:	512 sq. ft.
Total Living Area:	2,382 sq. ft.

Company Catalog: \$1	2
Blueprints:\$7	5
(standard model preliminary)	

Call for package prices.

FIRST FLOOR









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FIRST FLOOR



BOONE HOUSE

Featuring wraparound porches and oversized dormers, the Boone House is the quintessential log cabin. You will fall in love with its spacious rooms and dramatic ceilings as you bask in its relaxing atmosphere. Perfect for the wooded lot or the open plains, inquire about making the Boone House "Your House" today!

Log Package Price: \$79,900

Nestled in the foothills of Tennessee's Appalachian Mountains, Battle Creek Log Homes was founded on the traditional values and standards of days gone by Today, our homes are built on these same principles and incorporate the latest products and techniques.





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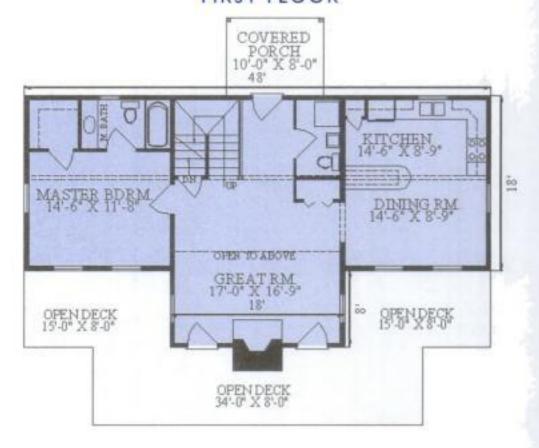
SHADOW BROOK

Featuring a large fireplace accented by glass and an abundance of natural light, the spacious great room is the focal point of the Shadow Brook. Designed with the master suite on the first floor and two additional bedrooms upstairs, this home is a functional and practical home for a young family or the retiring couple.

Total Living Area: 1,620 sq. ft.

Log Package Price:...........\$59,900

FIRST FLOOR







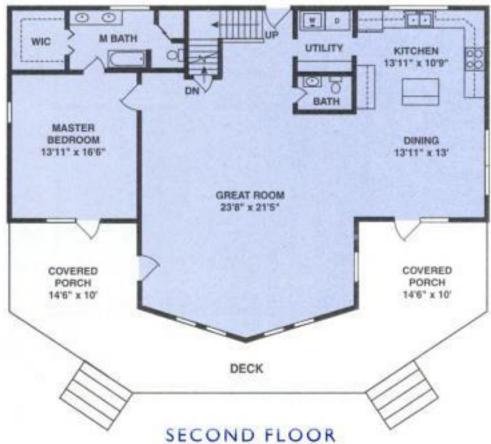


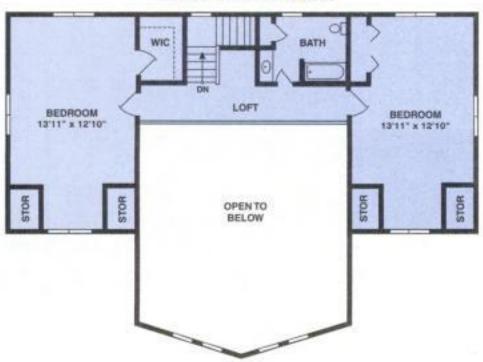
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FIRST FLOOR





WHISPERING **PINES**

Here's a superb home that truly defines the term "open space." This spacious, updated A-frame style savors a view from the great room area, which is surrounded by a deck. Even the bedrooms are exceptionally large. The loft overlooking the great room shares the second floor with two bedrooms and a bath.

First Floor: 1,650 sq. ft. Second Floor: 854 sq. ft. Total Living Area: 2,504 sq. ft.

Log Package Price: \$99,497



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BK Cypress Log Homes, Inc. located in Bronson, Florida, is a family owned and operated company specializing in custom-built log homes using the finest wood that grows in the southern swamps; tidewater red cypress. The family of BK Cypress started manufacturing with cypress materials in the 1930s and log homes in the 1970s and is the nation's oldest tidewater red cypress log home manufacturer. With more than 60 years of experience in the cypress lumber and log home industries, the family of BK Cypress Log Homes takes pride in providing the best quality material and customer service in milling the best logs to build

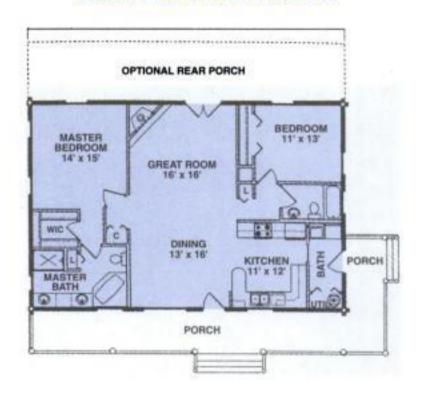
your log home.

RIVER BEND

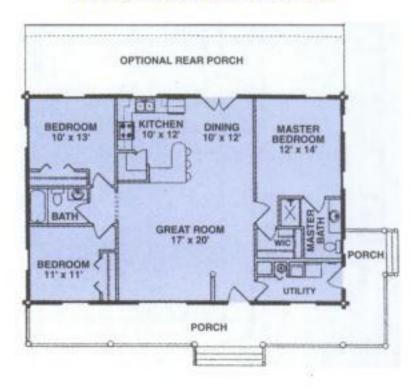
This adaptable floor plan can be built with two or three bedrooms. A vaulted ceiling in the great room creates that terrific log home feeling without the expense of a loft. With a porch featuring massive hand-peeled timbers, the River Bend bids you a welcome to come and sit a while.

Main Floor: 1,344 sq. ft. Total Living Area: . . . 1,344 sq. ft.

MAIN FLOOR OPTION A



MAIN FLOOR OPTION B

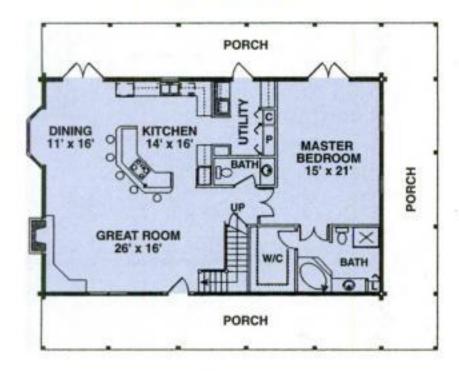




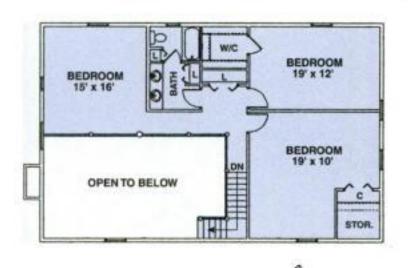


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FIRST FLOOR



SECOND FLOOR



SWALLOW'S NEST

Our most popular model, this four bedroom, 2 ½ bath model features over 2,774 square feet of space. It includes all the extras: a loft, wraparound porches, an exposed ceiling and much more.

First Floor:							1,600 sq. ft.
Second Floor:			٠				1,174 sq. ft.
Total Living Are	ea	٠.					2,774 sq. ft.
Porch Area:							1,552 sq. ft.

Call for package prices.



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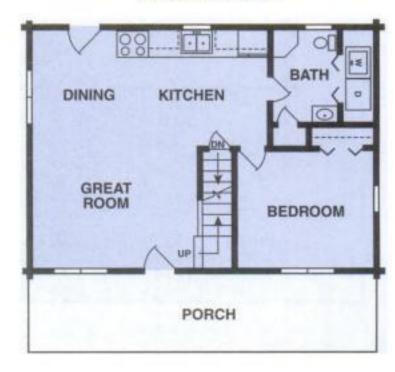
BPB log homes are borate pressure-treated for protection against termites, decay and wood digesting insects, pre-cut for ease of assembly and produced from quality materials for lasting value.

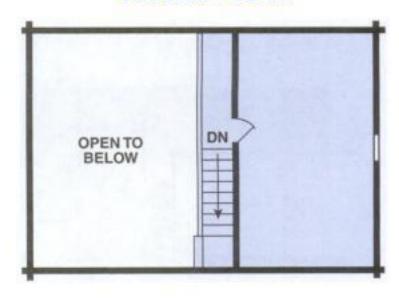
MILLBORO

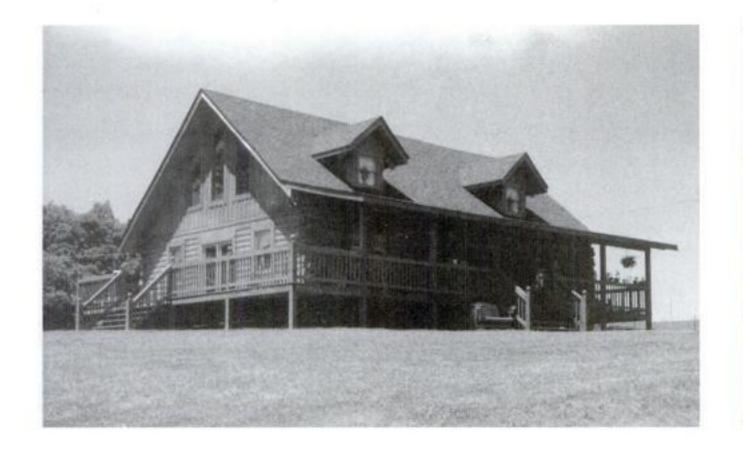
Looking for a retreat in the mountains or on your favorite lake? Or do you just want to escape for a weekend? The Millboro offers the warmth and coziness of a log home at a price you can afford. Open beam ceilings, a timber frame loft and a front porch add to the charm of the Millboro.

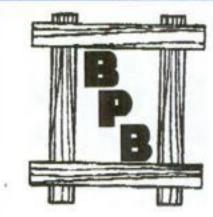
Call for package prices.

FIRST FLOOR



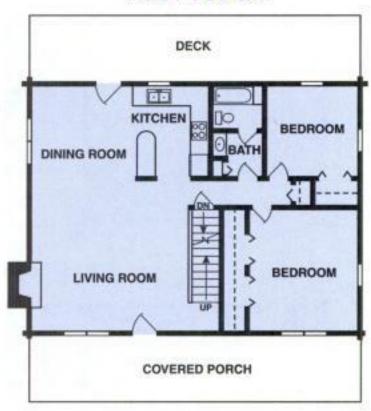






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FIRST FLOOR



SECOND FLOOR



OVERLOOK

The Overlook is a magnificent home for family living or a vacation retreat. The second floor bedroom can also be used as a study or sewing room, or omitted for an expanded loft area and family room.

First Floor:	200 sq. ft.
Second Floor:	855 sq. ft.
Total Living Area: 2,	055 sq. ft.
Porch:	320 sq. ft.
Deck:	

Call for package prices.



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 - Round, flat or handhewn
 - Custom designs
 - Construction blueprints
- On-site technical service

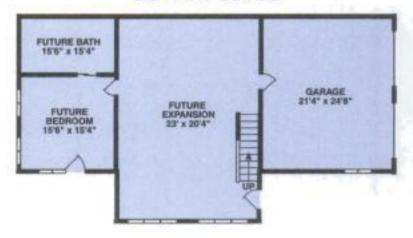
BLACK

Colorado LogSystems is the largest producer of custom cedar log homes in the Southwest. We offer 10-inch cedar at a cost comparable to pre-cut 8-inch pine. Logs, Hurd windows & exterior doors, lags, butyl, splines, and pre-cut windows and door bucks are included in our basic package. Quick ship is available for plan ready clients.

First Floor: 2,132 sq. ft.
Second Floor: 450 sq. ft.
Total Living Area: . . . 2,582 sq. ft.
Optional Garage/Basement:
2,123 sq. ft.

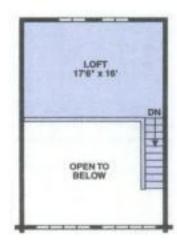
Regional Turnkey Price: \$234,500 - \$312,000 plus optional garage/basement

LOWER LEVEL





SECOND FLOOR



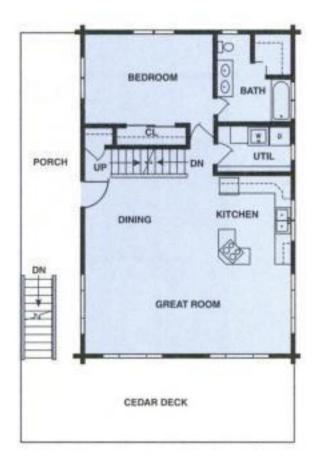
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FIRST FLOOR



BEDROOM O BATH LOFT

SECOND FLOOR

SOUTH FORK MODEL/OFFICE

Our exclusive Colorado Corner utilizes a unique double mortise-and-tenon joint, which provides the look of a full interlock corner while retaining the superior structural and airseal integrity of a mortise-and-tenon corner. All log joinery surfaces are sealed internally using a non-curing butyl rubber gasket and are joined mechanically with lag screws. Our basic log package includes custom design, construction blue-prints and technical on-site service.

> Regional Turnkey Price: \$184,800 - \$231,000



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Homes, we encourage
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home; that is why we
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design service. From
small cabins to large
mansions and anywhere
in-between, we can
fulfill your dream.

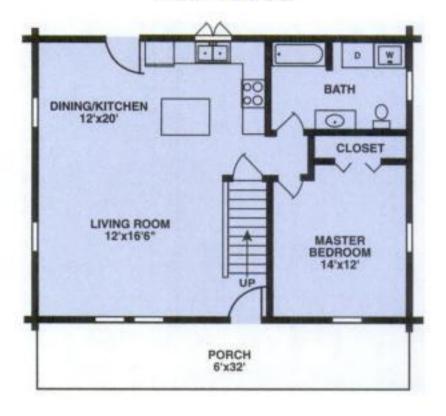
All Coventry homes come complete with pre-cut kiln-dried logs, floor system, interior framing and V-match to finish, Andersen windows, interior and exterior doors, complete roof system and much more.

FAIRFIELD

The Fairfield is truly an excellent design that features three bedrooms, two baths, a front porch and large open living area. With front gables and a full shed dormer on the back, you get the most space for your money. Our complete package includes subfloor, pre-cut kiln-dried log walls, Andersen windows, Therma-Tru doors, loft system, complete roof system, interior frame and T&G pine to finish, solid wood interior doors, locksets and much more. Call to ask about our shipping special.

Log Wall Package: \$23,100 Shell Package: \$32,500 Complete Log Package Price \$41,300

FIRST FLOOR









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toll-free: 800-308-7505
fax: 603-747-3340
e-mail:
info@coventryloghomes.com
www.coventryloghomes.com

HOMESTEAD

The Homestead is one of many nice designs in Coventry's Plan Book. It features first floor living, office/workshop space, and a two-car garage. All this at a very affordable price. Our complete package includes sub-floor, pre-cut kiln-dried log walls, Andersen windows, Therma-Tru doors, loft system, complete roof system, interior frame and T&G pine to finish, solid wood interior doors, locksets and much more. Call to ask about our shipping special.

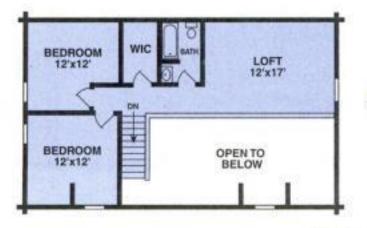
 First Floor:
 1,840 sq. ft.
 Log Wall Package:
 \$32,000

 Second Floor:
 624 sq. ft.
 Shell Package:
 \$55,800

 Total Living Area:
 2,464 sq. ft.
 Complete Log Package Price:
 \$68,900



FIRST FLOOR

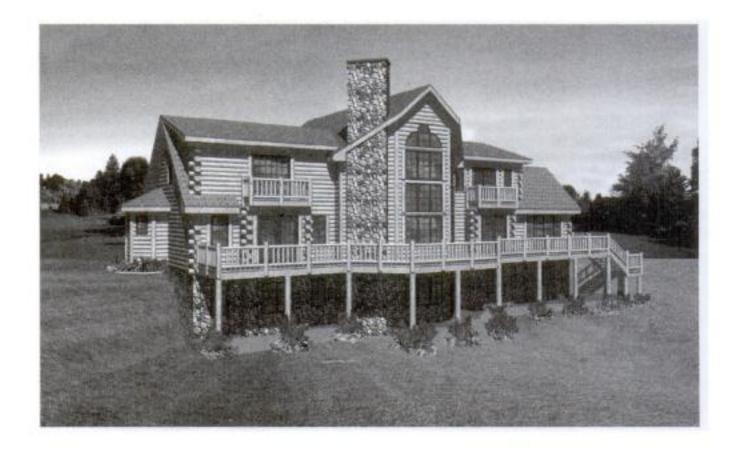


Expedition Log Homes LLC

P.O. Box 700080 Oostburg, WI 53070 toll-free: 877-250-3300 fax: 877-778-3300 e-mail:

email@expeditionloghomes.com www.expeditionloghomes.com





BIG SKY

At Expedition Log Homes, our experienced team knows what distinguishes a memorable log home ... like handpicked, kiln-dried pine or cedar, cut only from the heart of the log and skillfully crafted by hand with a drawknife. The Big Sky features open living spaces with a spectacular wall of glass in the great room. The graceful flow of the Big Sky is perfect for entertaining and family gatherings. Call toll-free or fax your design ideas for your very own custom-designed log home, tailor-made to meet your individual taste and budget.

Total Living Area: 3,442 sq. ft.

FIRST FLOOR



Circle Reader Response #390



Expedition LLC Homes LLC

P.O. Box 700080 Oostburg, WI 53070 toll-free: 877-250-3300 fax: 877-778-3300 e-mail:

email@expeditionloghomes.com www.expeditionloghomes.com

SIERRA VISTA

Creating unique space and flow, the Sierra Vista blends impressive rooflines with spacious rooms in this one level home. You'll find something interesting around every corner. Call toll-free 877-250-3300 or fax your design ideas to 877-778-3300 for your very own custom-designed log home, tailor-made to meet your individual taste and budget.

Total Living Area: 2,795 sq. ft.

MAIN FLOOR





10423 Old Hwy. 54
New Bloomfield, MO 65063
ph: 573-896-5122
toll-free: 800-654-9253
fax: 573-896-5510
e-mail: sales@oakloghome.com
www.oakloghome.com



Surround yourself with the enduring beauty of an oak log home for the same price as pine. Oak has the strength, durability and beauty you deserve in your home. Imagine the feeling of safety and the security from being enveloped in this glorious wood. The oak beams overhead. the oak trim and the oak stairs and railings all complete the picture ... Choose a Gastineau Log Home.

CAROLINE

To celebrate 25 years of business, Gastineau Log Homes has released four new designs comprising our Silver Anniversary Plans. Two of the four plans are shown here: the Caroline and the Juliana. Both plans feature 3 bedrooms and 2½ baths with the master suite on the first floor. As designed, these homes should be built for \$150,000 to \$175,000 in most of the U.S. excluding land and foundation. The Juliana will be built in spring 2003 at the GLH Model Home Center in Missouri.

First Floor: 1,190 sq. ft. Second Floor: 520 sq. ft. Total Living Area: . . . 1,710 sq. ft. Porch Area: 129 sq. ft.

Catalog Price: \$20 Catalog with Video Price: . . . \$25

Log Package Price: \$41,700-\$82,330

FIRST FLOOR









10423 Old Hwy. 54
New Bloomfield, MO 65063
ph: 573-896-5122
toll-free: 800-654-9253
fax: 573-896-5510
e-mail: sales@oakloghome.com
www.oakloghome.com

FIRST FLOOR



SECOND FLOOR



JULIANA

To celebrate 25 years of business, Gastineau Log Homes has released four new designs comprising our Silver Anniversary Plans. Two of the four plans are shown here: the Caroline and the Juliana. Both plans feature 3 bedrooms and 2½ baths with the master suite on the first floor. As designed, these homes should be built for \$150,000 to \$175,000 in most of the U.S. excluding land and foundation. The Juliana will be built in spring 2003 at the GLH Model Home Center in Missouri.

First Floor:	1,050	sq. ft.
Second Floor:	. 740	sq. ft.
Total Living Area:	1,790	sq. ft.
Porch Area:	69	sq. ft.
Catalog Price:		. \$20

Log Package Price: \$36,600-\$75,900

Catalog w/video Price: \$25

HERITAGE TO LOG HOMES

P.O. Box 8080
Sevierville, TN 37864
ph: 865-932-0202
toll-free: 800-456-4663
fax: 865-429-4434
e-mail: info@heritagelog.com
www.heritagelog.com

Heritage Log Homes prides itself on offering top quality personal service and top quality products. Our mission statement reads ... "Be honest. Be helpful. Be fair. Don't accept anything less than the best, and always strive to improve our services, product and product line." Call today and let Heritage build your dream.



HAMPTON

Dramatic windows in the two-story great room take advantage of sweeping views. The Hampton is a classic farmhouse style with a well-thought-out formal floor plan and big wraparound porches for lazy afternoons. A grand entry lets you know you've stepped into a very special home.

Display Prints are free with the purchase of our catalog.

FIRST FLOOR





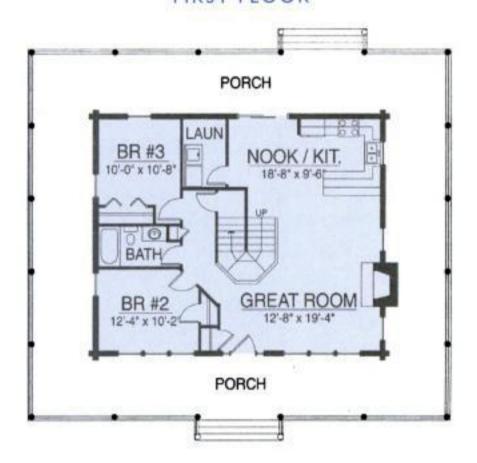
Circle Reader Response #190



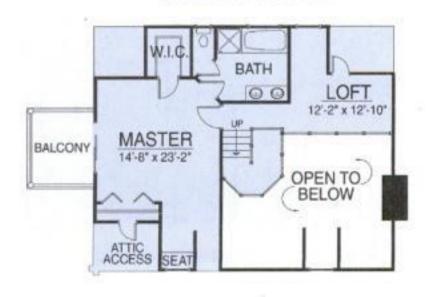


P.O. Box 8080
Sevierville, TN 37864
ph: 865-932-0202
toll-free: 800-456-4663
fax: 865-429-4434
e-mail: info@heritagelog.com
www.heritagelog.com

FIRST FLOOR



SECOND FLOOR



WOODLAWN

Charming in its farmhouse look, the Woodlawn features a symmetrical roof line and wraparound porch. A center stainwell is a deft design touch, as is the well-defined entry and great room with cathedral ceiling.

> Display Prints are free with the purchase of our catalog.



P.O. Box 8, M28 East Munising, MI 49862 toll-free: 800-876-8100 www.hiawatha.com



Hiawatha Log Homes, located in the heart of the Hiawatha National Forest has been producing quality log homes since 1983. Both rustic handcrafted and traditional milled styles are available. The rustic handcrafted option features a fully handcrafted roof system. Wall logs are finished by hand, giving each log a rustic appeal. Traditional milled homes are also available using our double tongue & groove or Swedish cope systems. Hiawatha Log Homes uses Norway pine and Northern white cedar logs, structurally graded and kiln-dried for unsurpassed stability. Profile styles include 8", 10" or 12" diameter full round, or D-style logs with fulllog corners, milled smooth. Corners are saddlenotched, increasing the wall system's structural integrity while

maintaining the aesthetic quality of a finely crafted

log home.

CHARLEVOIX B

The Charlevoix combines the classic look of wide dormers with an open and flexible floor plan. The wraparound porch unites the building as a whole, and offers a large, semi-enclosed exterior space for gathering or relaxing. After entering the grand double entry door, one is greeted by a comfortable foyer with a half bath and closet to the right and log stair to the left. Once past the stair and entry, the entirety of the house opens up with the kitchen and dining room defined with single height ceilings flowing into the double height great room. To the right off of the great room is the large master suite with French doors opening on to the rear deck. Moving between the two walk-in closets one finds the master bath with separate whirlpool tub, shower and single vanity. On the opposite end of the home, beyond the kitchen is a rear entry with bath, access to the 2-car garage and utility room.



Circle Reader Response #97



552 S. Rt. 95 Loudonville, OH 44842 ph: 419-281-3553 fax: 419-994-4094



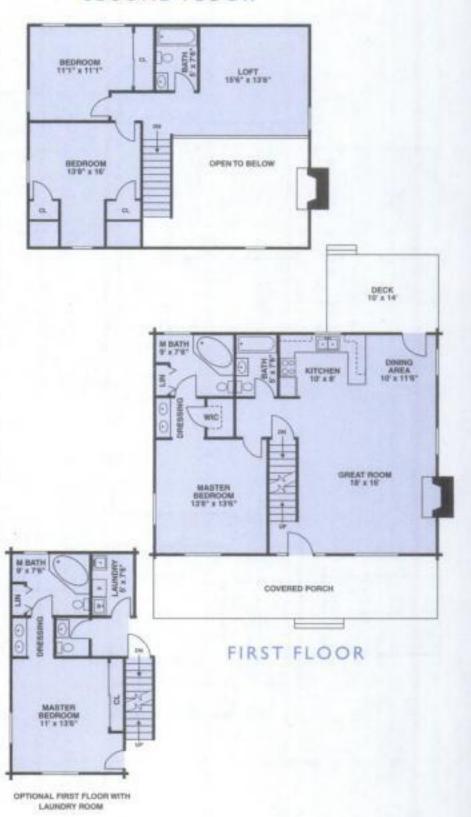
You can save 30 to 40 percent on your new log home package by buying mill-direct from Hochstetler Milling, No. middleman means less cost to you. We use only the finest, gradecertified logs, kiln-dried to 18 to 19 percent for minimum shrinkage. Choose from Eastern white pine, Northern white cedar, Western red cedar and cypress in nine different profiles.

HUDSON

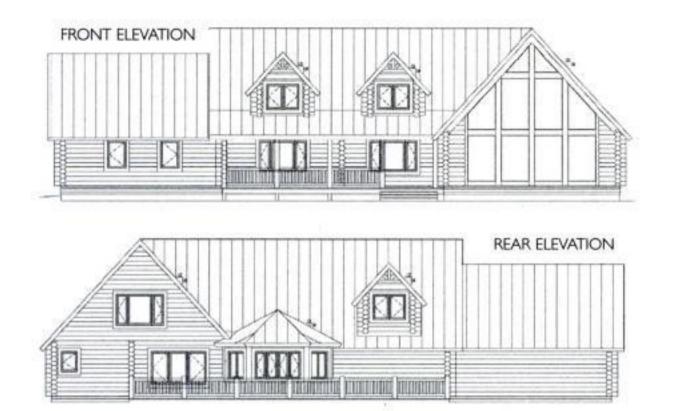
The Hudson is one of our most efficient floor plans – perfect for the growing family on a limited budget. This log home offers most of the features of our larger homes but in a slightly smaller size. Included are a traditional full-length covered front porch, a large open dining/great room area with exposed timber ceiling, a spacious 13'x13' loft or office and a rear shed dormer upstairs. Exciting contemporary touches include a large master bath with room for a hot tub and separate walk-in closet and dressing area.

Portfolio incl. 12 plans: \$10

SECOND FLOOR



Circle Reader Response #394





P.O. Box 8, M28 East Munising, MI 49862 toll-free: 800-876-8100 www.hiawatha.com

FIRST FLOOR



SECOND FLOOR

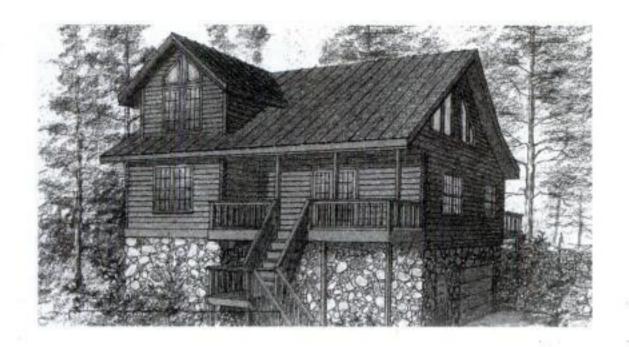


TAPESTRY

The woven spaces in the Tapestry plan define a common ground for family living. Entry to the 2,545 square feet first floor is gained through a covered porch extending across the front of the home.

A large fireplace, high ceilings with impressive beams and a wall of glass in the living room make an impressive statement to those entering this home. The galley kitchen has the luxury of a large, conveniently located pantry. The laundry room with tub and folding counter is another added value.

The Tapestry's 3,835 square feet of living space is organized in a unique way that weaves together the everyday lives of the contemporary family.



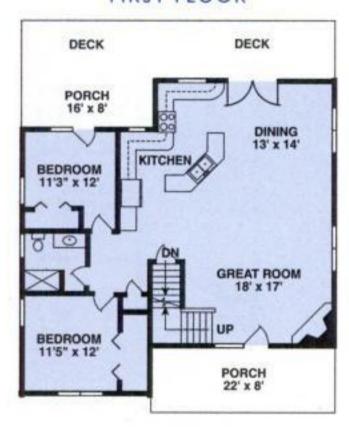


fax: 828-963-6782

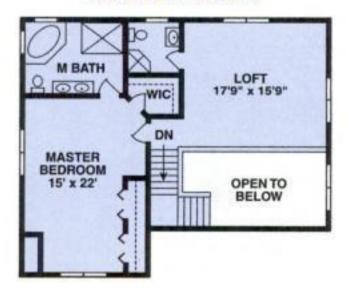
e-mail:

plans@loghomesofamerica.com www.loghomesofamerica.com

FIRST FLOOR



SECOND FLOOR



PROCTOR

Enjoy precious moments with family and friends in this impeccable plan. The kitchen of your dreams designed by a chef. The glorious master suite is up and away with perfectly-planned lighting and function. There is even a spot in the loft for overflow guests or cozy up with a book. As evening settles, rockers can be heard on the porch inviting you out.

First Floor: 1,216 sq. ft. Second Floor: 908 sq. ft. Total Living Area: . . . 2,124 sq. ft.

Catalog: \$12 See our Web site for package prices.

Since its beginning in 1989, Log Homes of America, Inc., formerly the Log Home Cooperative of America, has supplied its dealer members with superior log home components. With mills scattered throughout our marketing area, we are able to provide most any profile or log species the customer desires. Our strength is Dealer members have proven themselves to be professionals in the field. From the showing of their models and descriptions of the materials provided, to the erection of the packages, honesty and integrity are their guiding principles.



Building dreams for generations.

9649-1 Hwy. 105 South Banner Elk, NC 28604 ph: 828-963-7777 toll-free: 800-564-8496 fax: 828-963-6782

plans@loghomesofamerica.com www.loghomesofamerica.com

e-mail:



TASKER

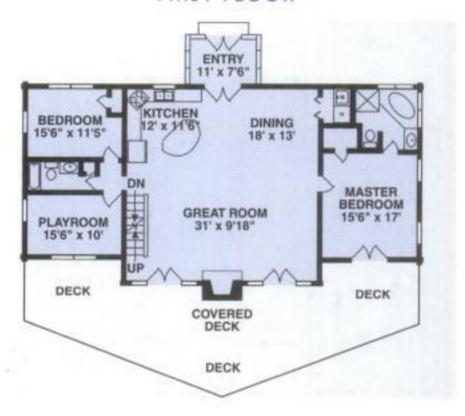
The Tasker model features a spacious kitchen and dining area, as well as three bedrooms and three baths. A wall of windows provides plenty of light for the great room and draws focus to the awesome views. When your work in the office is done, you can join the kids in the playroom or enjoy the outdoors on the covered deck.

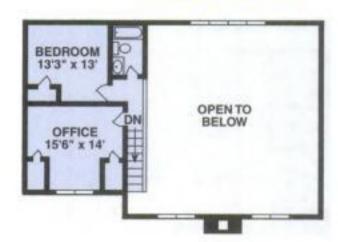
First Floor:	sq. ft.
Second Floor: 532	sq. ft.
Total Living Area: 2.452	sa. ft.

Catalog:.....\$12

See our Web site for package prices.

FIRST FLOOR





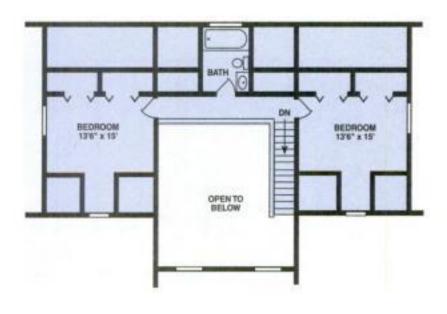




FIRST FLOOR



SECOND FLOOR



SILVER CREEK

This flexible floor plan offers wide open living spaces with a spectacular vaulted great room. The first floor features a private master suite and a beautiful log staircase. The second floor offers a loft, two nice-sized bedrooms and a bath to accommodate family or guests. Our logs are kiln-dried and come with a 25 year limited warranty.

First Floor: 1,231 sq. ft.
Second Floor: 535 sq. ft.
Total Living Area: . . . 1,766 sq. ft.

Call for package prices.

At Logs UP we are committed to making your purchase of a log home a happy and rewarding experience. Kiln-drying sanitizes your wall logs and minimizes shrinking and checking for long lasting stability. We offer design services, full log trusses and custom hand-peeled log components. Packages are pre-cut and logs are numbered for ease of construction. Let us start planning your log home dream.

Jumber lack Log Homes

70 E.Williams Rd. Gallatin Gateway, MT 59730 ph: 406-763-4421 toll-free: 800-683-4421 fax: 406-763-4657

e-mail:

lumberjack@lumberjackhomes.com www.lumberjackhomes.com



Our goal at Lumberjack Log Homes is to provide you with quality information and to put our experience to good use in the development and successful completion of your log home project. Lumberjack Log Homes is proud to offer a Swedish cope log with saddlenotched corners. We use only deadstanding lodgepole pine and believe that the quality of both our products and service is as important as the price. Call us to see how you can get into a beautiful Lumberjack log home.

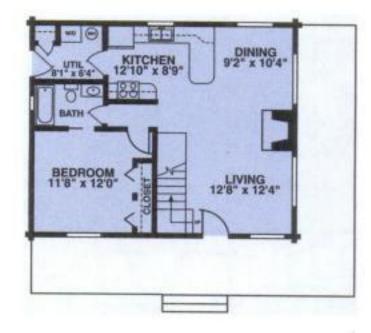
BOULDER

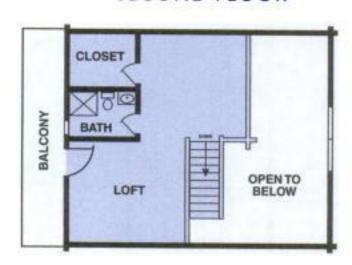
Are you looking for the perfect getaway cabin? This little beauty is one of our most popular models and can be easily modified to suit your needs. At 1,168 square feet, the Boulder features an open kitchen and living area and a versatile loft that can double as a bedroom. The covered porch adds to the country charm of this ideal retreat. Call us for details and pricing on the beautiful Boulder!

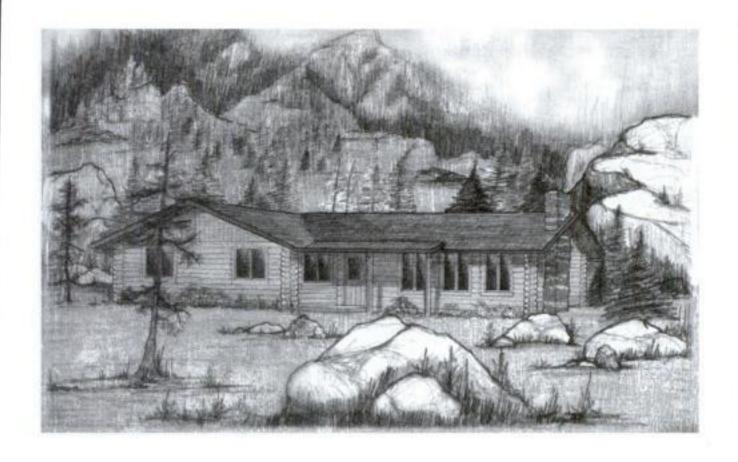
Free brochure.

Call for package pricing.

FIRST FLOOR







Jumber lack Log Homes

70 E. Williams Rd. Gallatin Gateway, MT 59730 ph: 406-763-4421 toll-free: 800-683-4421

> fax: 406-763-4657 e-mail:

lumberjack@lumberjackhomes.com www.lumberjackhomes.com

SWEETGRASS

Get back to the basics with the Sweetgrass! This practical and efficient three-bedroom ranch style log home features a convenient kitchen/dining and living room combination as well as a cozy family room off the main entry way. You'll fall in love with the charming country porch that naturally lends itself to rocking chairs and summer evenings. Modifications are easily made to this plan. Call us for information on pricing this charming home!

Total Living Area: 1,732 sq. ft.

Free brochure.

Call for package pricing.

MAIN FLOOR



Jumber lack Log Homes

70 E.Williams Rd.
Gallatin Gateway, MT 59730
ph: 406-763-4421
toll-free: 800-683-4421
fax: 406-763-4657
e-mail:

lumberjack@lumberjackhomes.com www.lumberjackhomes.com



TETON

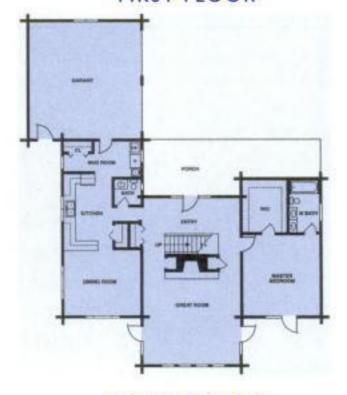
Step up to the Teton! This impressive home offers sophistication along with a charming rustic appeal. Interior log walls, open spaces and beautiful gable dormers give this log home a wonderful blend of elegance and country style. With two large bedrooms upstairs and a grand master suite on the first floor, there's sure to be enough room for everyone. Call today to find out more about this home of distinction.

First Floor:	٠.				٠	٠	٠	1,816	sq. f	t,
Second Floor:								1,497	sq. f	t.
Total Living Are	ea:			٠				3,313	sq. f	t.
Garage:	٠.	٠.	•			 		. 600	sq. f	t.

Free brochure.

Call for package pricing.

FIRST FLOOR



SECOND FLOOR







800 McEvoy St.
Mauston, WI 53948
ph: 608-847-3722
toll-free: 800-491-4423
fax: 608-847-3966
e-mail: logs@mvloghomes.com
www.mvloghomes.com

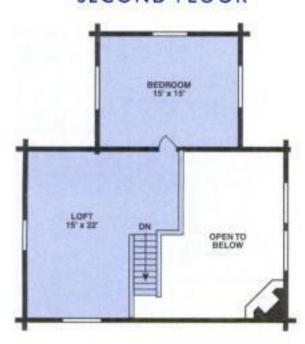
FIRST FLOOR



BAYVIEW

The Bayview is a terrific floor plan for a vacation, second home or those looking for a primary home with a smaller foot-print. The home features front and rear decks with an exposed log truss, an ample master bedroom suite with an adjoining enclosed screen porch, a large loft and a loft bedroom. Custom floor plans are available.

Blueprints: \$500 Call for package prices. Meadow Valley Log
Homes has built
hundreds of log homes
since 1983 with no two
alike. You design your
home with help from
our in-house experts.
We specialize in
manufacturing and
building the log portion
of your home. Whether
a weekend retreat or
primary residence.
Meadow Valley can help.





3250 Hwy. 93 South Kalispell, MT 59901 ph: 406-752-2992 fax: 406-257-7014 e-mail: mtloghms@digisys.net www.montanaloghomes.com



Montana Log Homes has been handcrafting unique, quality log homes, lodges and commercial structures since 1975. Full-length, dead standing lodgepole pine or Engelmann spruce is hand-peeled for that original log home look, and hand tooled for precision joinery. Log sizes of 12". 14" or 16" are standard, with larger log sizes available on request. Your choice of Scandinavian full scribe or chink style construction. Log package quotes will include delivery and reassembly by our experienced crew. Contact us for a free brochure, a copy of our

floor plan catalog, \$10,

or our video, \$20.

MLH-027

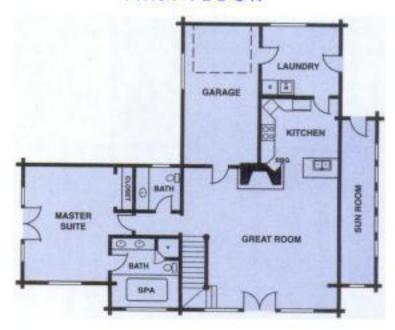
The magnificent 4-bedroom, 3½-bathroom design of this home depicts a touch of European chalet styling with steep roof pitches, gable dormers and hammerbeam trusses. A spacious 3,460 square feet (main floor and loft) with vaulted ceiling in the great room, functional kitchen, informal skylighted dining room and private master suite will satisfy today's sought-after lifestyles.

First Floor: 1,960 sq. ft.
Second Floor: 1,500 sq. ft.
Total Living Area: 3,460 sq. ft.

Plan Book: \$10 Video: \$20

Call for package pricing.

FIRST FLOOR









3250 Hwy. 93 South Kalispell, MT 59901 ph: 406-752-2992 fax: 406-257-7014 e-mail: mtloghms@digisys.net www.montanaloghomes.com

FIRST FLOOR



SECOND FLOOR

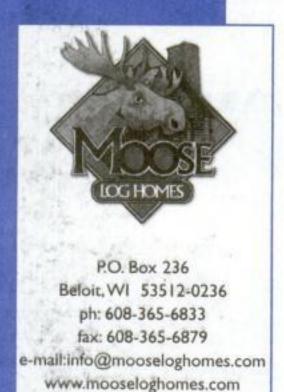


MLH-043

This is a beautifully designed variation of the three-chamber-style log home. Featuring four bedrooms, a den and three-and-a-half baths, the MLH-043 offers a total of 3,580 square feet of living space. The attached garage keeps vehicles close at hand and leads directly to the kitchen for ease in bringing in the groceries. A spacious first floor layout and ample deck space make entertaining large or small groups of people enjoyable, no matter what the weather brings. The master bedroom suite features an intimate and cozy fireplace for that very special ambiance.

First Floor:	070 sq. ft.
Second Floor:	510 sq. ft.
Total Living Area: 3,	580 sq. ft.
Decks:	815 sq. ft.
Garage:	720 sq. ft.
Plan Book:	\$10
Video:	

Call for package pricing.





Moose Log Homes has the highest quality logs and the lowest prices in the industry. Our logs are double tongue and grooved with saddlenotched corners and have a true round profile. We do not make you purchase any non-log components from us that you can acquire much cheaper from your local lumberyard. Please contact us with any questions you have on planning your log home.

REDSTONE

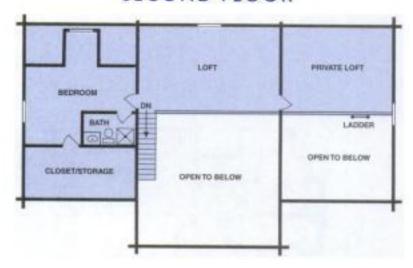
We have found the Redstone to be one of our most popular plans. If this is not your dream home, please send us your floor plan or rough ideas of what you would like. We pre-cut the logs for any plan. These plans can be modified.

First Floor: 1,824 sq. ft. Second Floor: 536 sq. ft. Total Living Area: . . . 2,360 sq. ft.

Log Package Price: \$29,443

FIRST FLOOR









BIG CREEK

This distinctive log home combines American tradition with contemporary design. The first floor includes a great room, spacious kitchen and spiral staircase. An 800 square foot master suite features a bath and a near-by hot tub room. Laundry facilities are between the kitchen and three-car garage. The lower level includes guest quarters with three bedrooms and three bathrooms, as well as a large entertainment room.



Founded in 1965. Neville Log Homes is a family-owned and operated business utilizing a patented "log-forming" machine that produces logs up to 60 feet in length. We offer a choice of smooth or hand-hewn finishes and log sizes from 7" to 18" in diameter. We use only dry-standing timber. Other services include design consultation, in-house design and drafting, site planning consultation and on-site technical assistance.

Call or e-mail us today to find out more about THE LONG LOG ADVANTAGE:



Neville Log Homes THE LONG LOG ADVANTAGE*

2036 Hwy. 93 N. Victor, MT 59875 ph: 406-642-3091 toll-free: 800-635-7911 fax: 406-642-3093 e-mail: neville@nevilog.com 215 Peerless Way Kamloops, BC Canada V2C 2J3 ph: 866-573-1866 e-mail: neville@nevilogcanada.com www.nevilog.com



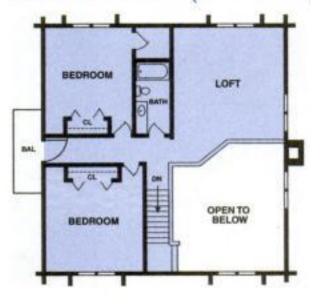
STAR VALLEY

This easy-to-take-care-of home has just the right amount of living space, including a grand fireplace that warms both the kitchen and the great room. The master bedroom is close by and the upstairs can be configured as two or three bedrooms or an office.

First Floor: 1,296 sq. ft. Second Floor: 972 sq. ft. Total Living Area: 2,268 sq. ft.

Catalog:.....\$15 Call for package prices.

SECOND FLOOR (OPTION A)



FIRST FLOOR



SECOND FLOOR (OPTION B)







P.O. Box 99

Lantzville, B.C., Canada V0R 2H0
ph: 250-390-3344
toll-free: 877-390-3344
fax: 250-390-4453
e-mail:
sales@norseloghomes.com

www.norseloghomes.com

LAKE SIDE

Our latest design, this beautiful 3,414 square foot home has a front view from each of the four bedrooms, perhaps overlooking a lake or mountain view. Large master bedroom with ensuite and walk-in closet is accessed by a bridge-way over the spectacular great room. The first floor features an open plan with a large kitchen that provides a warm feel for family or for entertaining friends. Next to the great room is a spare room ideal for an office or family room. Choose this plan or alter it to suit your style.

Norse Log Homes Ltd. builds handcrafted custom log homes for markets across Canada, the U.S.A., Europe and Asia.

Using select West Coast
Douglas fir, we prebuild
the log work phase of
our homes at our
construction site on
Vancouver Island. The
logs are peeled using
the traditional drawknife
method and then fitted
using the Scandinavian
full scribe style.

Norse Log Homes is a member of the International Log Builders' Association.

Circle Reader Response #321



1901 Logue Rd. Mt. Juliet, TN 37122 toll-free: 800-467-3006 fax: 615-449-1400

e-mail:

informationguide@oldtimerloghomes.com www.oldtimerloghomes.com



Original Log Homes has been in business for 25 years. Our experience translates into excellence and dependability for you. We are the manufacturer, which ensures that each home receives the same consistent care and craftsmanship. We use kilndried logs, have an inhouse design team and offer numerous log styles.

COLUMBIA

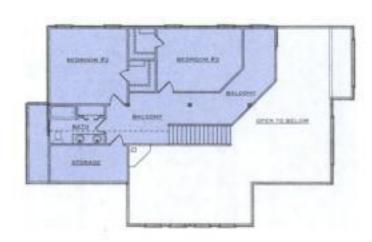
The Columbia, an original design in celebration of our 25th anniversary, offers a beautiful setting to call home. A spacious open living area creates an atmosphere of family. The private master suite has its own porch. The balcony area could serve as a library or study. A truly unique plan that says, "Welcome home."

First Floor: 1,930 sq. ft.
Second Floor: 985 sq. ft.
Total Living Area: 2,915 sq. ft.

Call for package prices.

FIRST FLOOR





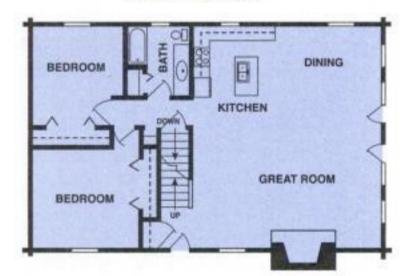




Route 105, Box 157
Wakefield, QC, Canada J0X 3G0
ph: 819-459-2089
fax: 819-459-1567
e-mail:

info@outaouaisloghomes.com www.outaouaisloghomes.com

FIRST FLOOR



THE MOHICAN

An Outaouais log home is designed for extreme weather and stringent Canadian building codes. For \$49,900, you get a complete log home except the foundation, labor, electrical, plumbing, cabinets and hardware — nothing else is missing. The shell kit is also available for \$35,000, which includes subfloor, logs, posts and beams, roof and roofing, soffits, fascia, rectangular windows, doors, all exterior trim and rough studding. Call or visit our Web site for more details.

First Floor: 1,092 sq. ft. Second Floor: 506 sq. ft. Total Living Area: 1,598 sq. ft.

\$35,000-\$49,900

SECOND FLOOR



Outaouais Log Homes has been offering its log homes in the market for 12 years and has one of the best values today. We create an all-Canadian log home designed for extreme Canadian weather from the subfloor and logs to the windows and roof Expect a high standard of quality from Outaouais Log Homes.

PACIFIC LOG HOMES, LTD.

P.O. Box 64

Lone Butte, BC Canada V0K IX0
toll-free: 800-663-1577
fax: 250-395-3802
e-mail: info@pacificloghomes.com
www.pacificloghomes.com



Since its beginning in 1976, Pacific Log Homes has specialized in custom-designed handcrafted log houses and commercial buildings suited to each customer's individual tastes and requirements.

Our homes are generally constructed using full-length 12"-16" diameter Engelmann spruce logs, although pine, fir and cedar logs are also available.

The traditional charm and beauty of log home construction is embedded with a great deal of pride and thoroughness into every Pacific Log Home.

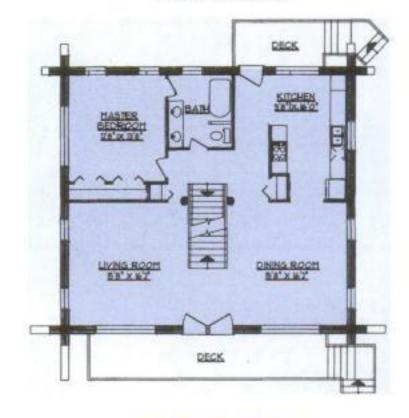
CHAPPLE

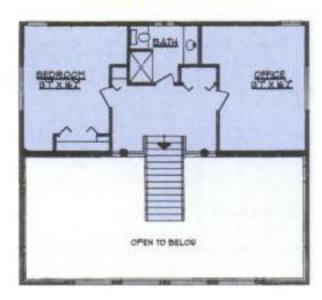
The Chapple plan offers a design that is at home in a rural or urban setting. The eye-catching roof lines feature both gable-and shed-style dormers. Numerous windows let in the natural light while allowing you to appreciate the magnificent views of the surrounding landscape. An open layout on the first floor is ideal for entertaining family and friends but at the same time maintains privacy for the bedroom and office areas in the loft. This well thought-out home creates a warm and cozy feeling for a couple or a growing family.

First Floor: 1,292 sq. ft. Second Floor: 646 sq. ft. Total Living Area: 1,938 sq. ft.

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FIRST FLOOR







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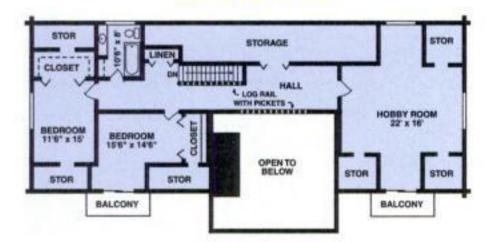
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fax: 250-395-3802

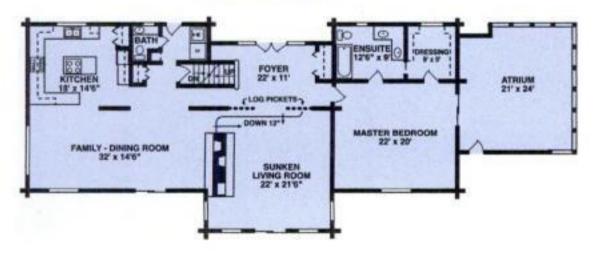
e-mail: info@pacificloghomes.com

www.pacificloghomes.com

SECOND FLOOR



FIRST FLOOR



PLAN #427

The two-story log home featured here is a real charmer — a beautiful, solid, handcrafted home with an array of intriguing features. It's a 4,081 square foot work of art!

Large interior archways, a warm and inviting sunken living room, massive hand-hewn squared beams over the living room, and bright interior rooms due to an abundance of windows and skylights are all part of what makes this house the gracious home that it is.

First Floor: 2,581 sq. ft.

Second Floor: 1,500 sq. ft.

Total Living Area: 4,081 sq. ft.

+ Atrium and Full Basement

(not included in square footage)

Send today for our free brochure and plans.



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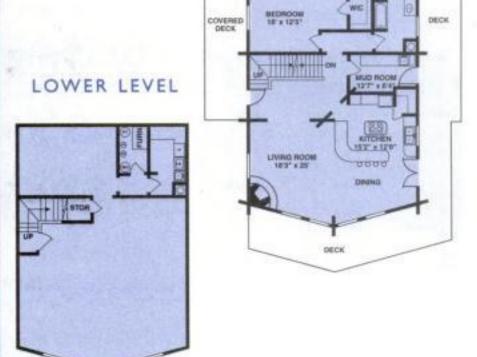


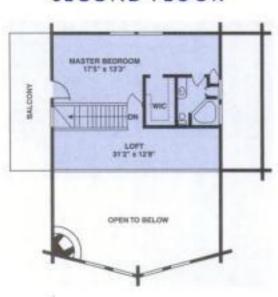


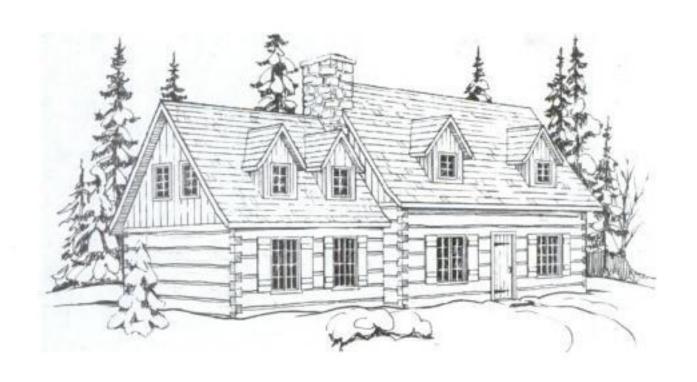
CRATER LAKE

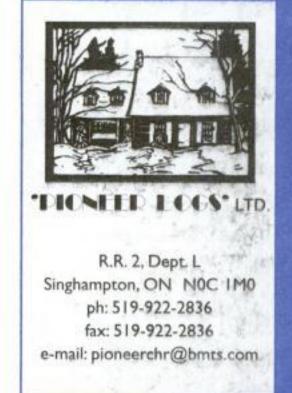
This handcrafted masterpiece is a very functional premier design with a beautiful great room and panoramic prow front including interior log walls with archways. The second story features large post and beam gable ends and dormers with a private covered balcony with the popular King Post Truss. You can expect a premier classic Scandinavian full-scribe featuring large diameter logs, TPI grading, delivery, re-assembly by our experienced building crew, custom design or modify one of our existing plans.

FIRST FLOOR









FIRST FLOOR



SECOND FLOOR



LA MAISON DU BOIS

This traditional French Canadian design features a single-story, framed-back addition that includes a separate mud room entry, main level family room and bathroom.

Handcrafted in Eastern white pine, Pioneer Logs Ltd. homes capture the look and feel of the original, square-timbered, dovetailed corner pioneer log homes. Design services available. Model home on display Dedicated to QUALITY, SERVICE and VALUE. Call us soon.





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FIRST FLOOR



SECOND FLOOR



TETON

The spacious Teton offers panoramic views. An open living, dining and kitchen area is accented with log rafters and purlins in the cathedral ceiling. A full-height stone fireplace opens into the great room and master bedroom. A turret in the dining area adds a unique dimension to the home. Upstairs are two additional bedrooms, a bath and a view that can be enjoyed from the loft. Precision Craft specializes in custom design and can modify this or any plan.

First Floor:	sq. ft.
Second Floor: 695 s	sq. ft.
Total Living Area: 2,487 s	sg. ft.

Company Catalog:.....\$14.95



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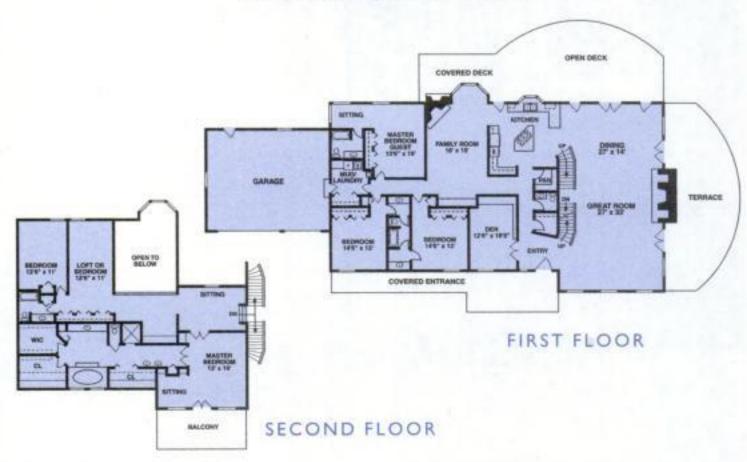


SUN VALLEY

A formal entry welcomes you into this spacious home. A large great room, accented by a towering fireplace, provides a natural gathering place. A double staircase leads to an impressive loft and the master bedroom. The first floor features a separate family room and a second master bedroom. Precision Craft specializes in custom design and can modify this or any plan.

First Floor: 4,051 sq. ft.
Second Floor: 1,964 sq. ft.
Total Living Area: 6,015 sq. ft.

Company Catalog: \$14.95





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At Rocky Mountain Log Homes, we've been creating log homes for over three decades, offering the widest range of styles in the business - including precision-milled, handcrafted and log frame homes. From start to finish, as you make the decisions that will bring your dream to life, you'll see why we've won more design awards than any company in the industry.

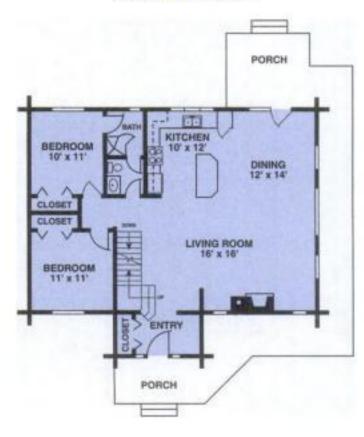
MANCHESTER

The Manchester's rustic appeal and modern sensibility are inviting to all who enter its welcoming doors. Unique features, including a prominent log truss over the entryway and a covered porch off the dining room, distinguish its design. All of our log homes are exquisitely crafted, the Manchester being one of our most outstanding. For more information about the Manchester and other Rocky plans, call Rocky Mountain Log Homes.

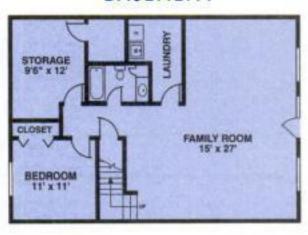
First Floor: 1,192 sq. ft.
Second Floor: 534 sq. ft.
Basement: 1,154 sq. ft.
Total Living Area: . . . 2,880 sq. ft.

Log Package Price: \$59,052

FIRST FLOOR



BASEMENT









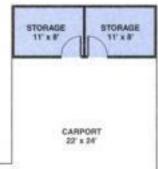
8405 U.S. Hwy. 259N Longview, TX 75605 ph: 903-663-1729 toll-free: 800-777-7288 fax: 903-663-1721 e-mail: info@slh.net www.satterwhite-log-homes.com

NECHES

This home's open living area features a vaulted ceiling and a fireplace. The gourmet kitchen includes an angled island cooktop, a handy snack bar and a pantry. A door leads from the dining area to the back porch. The master suite has two walk-in closets and a bath with two vanities, a shower and a tub. The two additional bedrooms share a bath. The convenient utility room has access to the carport, which offers plenty of extra storage.

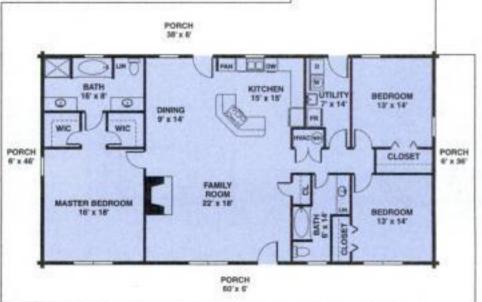
Total Living Area: 1,920 sq. ft.

MAIN FLOOR



Information Package Includes: Plan Book and Introductory Video \$15

Material Package includes: exterior log walls (includes logs, caulk and screws/ spikes); roof structure; decking, tar paper and shingles; porches, carports and garages where shown; ventilation; exterior doors and windows; exterior trim; interior partition framing.



Satterwhite Log Homes harvests deadstanding Engelmann spruce and manufactures it into dry, stable house logs in a variety of sizes and profiles. Satterwhite logs have a 15 percent or lower moisture content for stability and ease of building, eliminating the need for fancy joinery systems to allow for shrinkage. And because Satterwhite Log Homes is an independent family-owned business involved in every phase of the log home industry, there are no middlemen or franchise fees to drive up costs. Sales, warehousing and service facilities are located at Satterwhite's headquarters in Longview, Texas. The company also maintains a mill in Gunnison, Utah. Materials are available at both locations.



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TEXAN W/LOFT

One of Satterwhite Log Homes' most popular floor plans, this ranch-style home meets the needs of today's family. It optimizes space while allowing any number of custom features and adaptations. The spacious open living areas are highlighted by a centrally-located fireplace and dramatic second-floor catwalk. The efficient kitchen and dining areas are adjoined by a convenient utility room. The first floor master suite offers the privacy and luxury of a large walk-in closet and a master bath with twin vanities. The second level features a bedroom and bath, as well as a game room/study which could be converted to a bedroom.

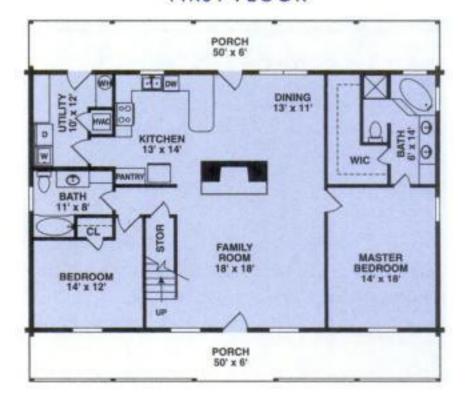
Total Living Area:	. 2,050 sq. ft.
Material Package Price	\$31,532

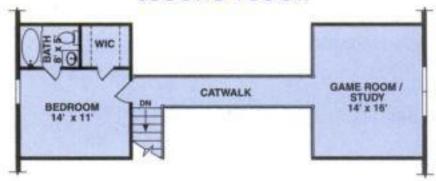
Plan Book:		٠				٠			٠	٠	٠		\$	1	0	
Blueprinter												9	כי	5	n	i

Information Package Includes: Plan Book and Introductory Video \$15

Material Package includes: exterior log walls (includes logs, caulk and screws/ spikes); roof structure; decking, tar paper and shingles; porches, carports and garages where shown; ventilation; exterior doors and windows; exterior trim; interior partition framing,

FIRST FLOOR



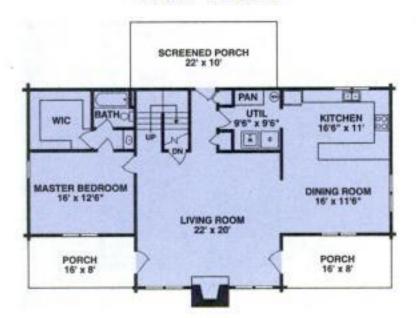






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FIRST FLOOR



ELK RIVER

Elk River is a handsome home that embraces ease of movement through an open floor plan. The living room, with a cathedral ceiling and fireplace, flows into a large kitchen. The spacious master bedroom (complete with walk-in closet and adjoining bath) is also downstairs. The second floor continues the airy design with a loft overlooking the living room and two more bedrooms, each with a dormer window perfect for a window seat.

First Floor: 1,364 sq. ft. Second Floor: 887 sq. ft. Total Living Area: . . . 2,251 sq. ft.

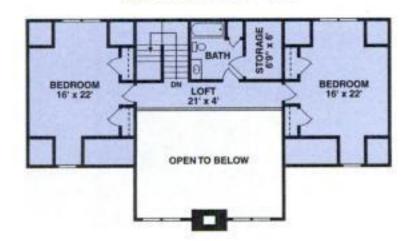
Company Catalog: \$12.50

Blueprints: \$50

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by the Old Smoky Mountain tradition of fine workmanship and quality materials. Since 1974, our commitment to customer satisfaction has established StoneMill as a leader in the log home industry. First quality products coupled with professional labor services are a combination that is hard to find anywhere in the industry. To learn more about our unique products and services. please visit our Web site at www.stonemill.com or call to order our color catalog. Come see firsthand why StoneMill Log Homes is a cut above the rest.

We at StoneMill still live





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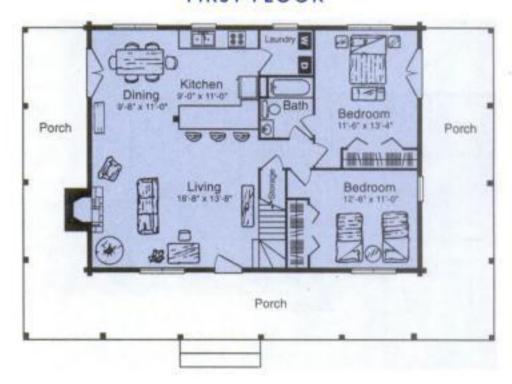


SPRINGCREST

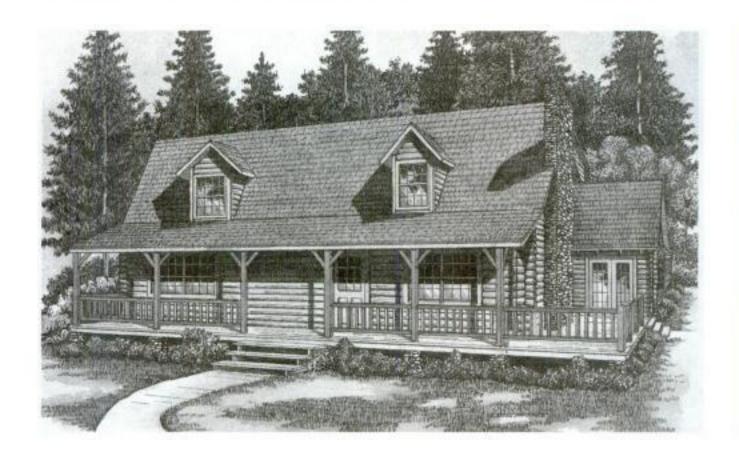
The Springcrest is a beautiful home with many appealing amenities. Downstairs, the great room — with a handsome stone fireplace and cathedral ceiling — opens into the dining area. It is separated from the kitchen with a four-stool, eatin kitchen bar. Both of the downstairs bedrooms have double closets, and one bedroom has french doors opening onto a porch. There is a full bath, laundry room and ample storage space.

First Floor:	q. ft.
Second Floor:722 s	q. ft.
Total Living Area: 1,786 s	g. ft.

FIRST FLOOR



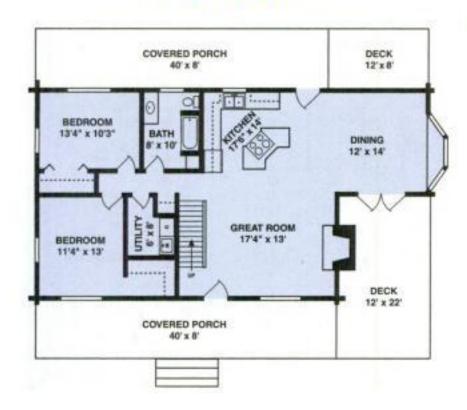






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FIRST FLOOR



MANATEE

This home offers a living area with a fireplace and a dining room tucked off the kitchen. Upstairs is an open loft with a secluded master bedroom and private balcony.

Suwannee River Log
Homes uses only heartcut cypress wood for its
logs and timbers. This
wood is chosen for its
outstanding durability
and natural resistance
to insects and decay.
With our multiple log
sizes and custom
architectural service, we
can design your log
home just the way
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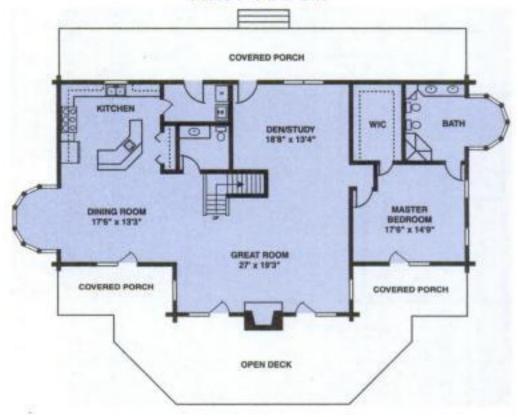


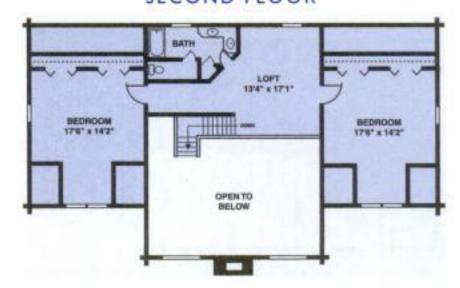
SHENANDOAH

This home provides many views from anywhere in the home. Large bow windows increase the light in both the dining room and the master bath, while both upstairs bedrooms have 8-foot dormers for maximum exposure.

First Floor:	,044 sq. ft.
Second Floor:	,048 sq. ft.
Total Living Area: 3	,092 sq. ft.
Covered Porch:	800 sq. ft.
Total Decks:	502 sq. ft.

FIRST FLOOR











2537 Decatur Pike Athens, TN 37303 toll-free: 800-251-9218 fax: 423-744-8156 e-mail: tnlog@tnloghomes.com www.tnloghomes.com

CHESAPEAKE

The Chesapeake is a beautiful three bedroom, two bath, 1% story family home. This plan offers a spacious, separate master suite and a large kitchen with lots of storage and laundry space.

Call for package prices.

FIRST FLOOR

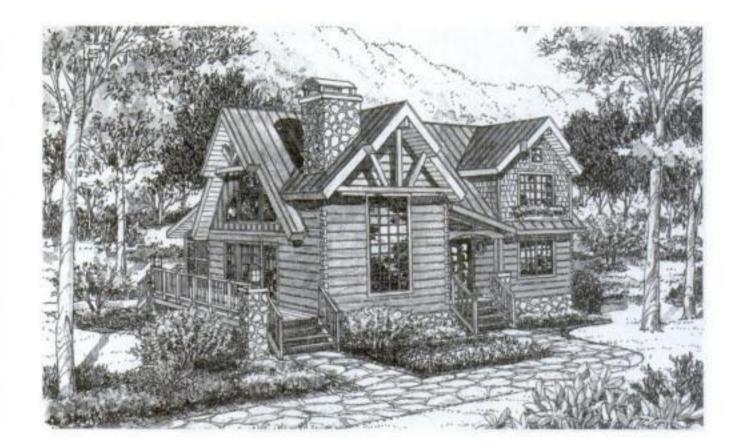




Tennessee Log Homes has been producing quality crafted log homes since 1975. Tennessee Log Homes offers several types of logs, guarantees all logs for workmanship and offers a limited lifetime warranty. Tennessee Log Homes specializes in custom designs and has an in-house drafting department. All custom homes are engineered to meet most national building codes.



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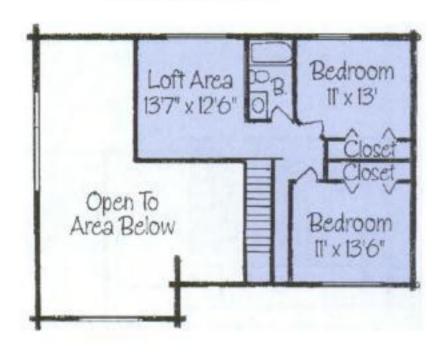
RIDGECREST

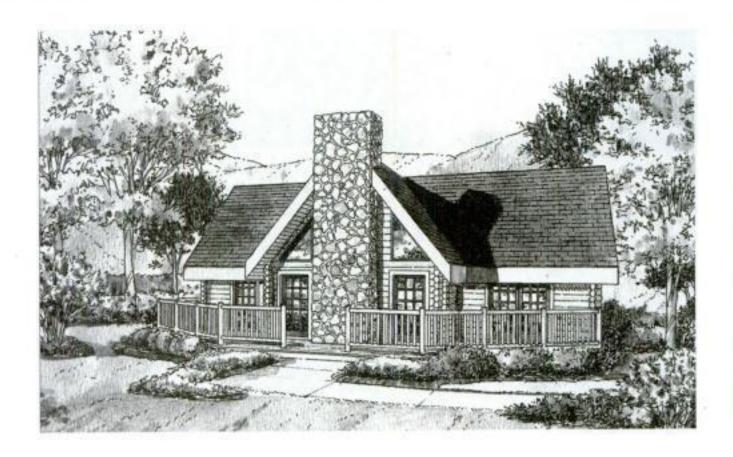
This 1,893 square foot spacious home feels comfortable in any setting, suburban or rural, mountain or lake. The huge expanses of glass allow the ultimate in viewing pleasure and the three bedrooms provide privacy for family or guests. The airy loft and huge great room complement the largest 1,900 square foot home you've ever seen!

First Floor:	1,245	sq. ft.
Second Floor:	. 648	sq. ft.
Total Living Area:	1.893	sa. ft.

Call for package prices.

Dining Kitcheng Bath O Bath O Beck 8'x31'11" Great Room 20'7" x 22'10" Porch

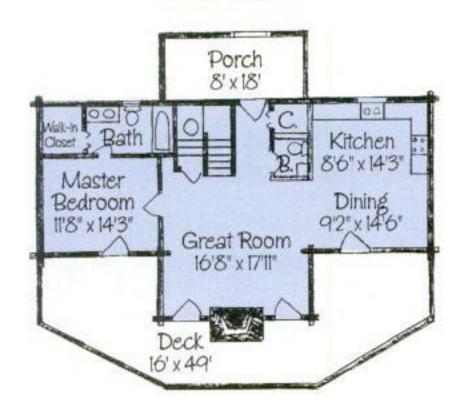




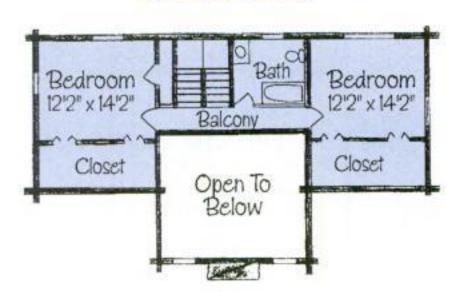


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FIRST FLOOR



SECOND FLOOR



TRENTON

A smaller version of our popular Tellico plan, the Trenton offers a spacious great room, roomy kitchen, three large bedrooms, two full baths and a powder room. With the master suite downstairs, it's the perfect home for families with children, or the occasional visitors who just need a little privacy.

Call for package prices.

Greatwood by Wilderness™ Log Homes

Celebrating 30 Years of Crafting Log Homes

P.O. Box 902 Plymouth, WI 53073-0902 ph: 920-893-8416 toll-free: 800-707-0449 fax: 800-998-9810

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e-mail:





ELKHART

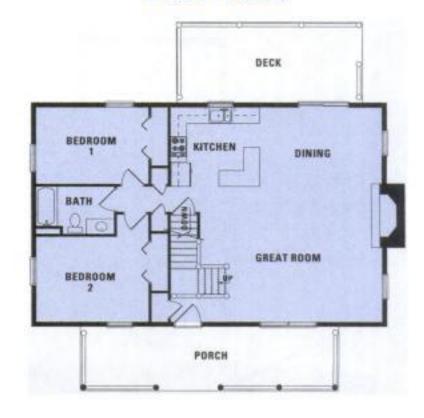
The Elkhart is perfect for a small family yet cozy enough for that cabin in the woods. The entry way off the front porch leads you to a welcoming fireplace in the great room. The open kitchen, dining and great room area is made for entertaining or quiet family evenings. The sunroom across the back of the home is a place to enjoy warmth of a winter morning or the cool summer evenings. Two bedrooms and a bathroom complete the first floor.

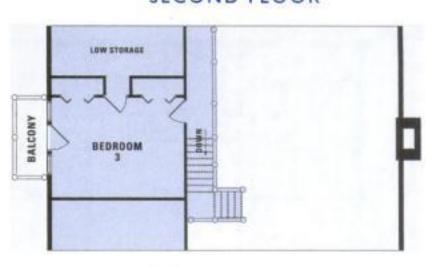
An open stairway leads to a large room in the loft that can be used as a third bedroom, den or library. A balcony to the outside finishes the room. Extra storage space is a bonus. The Elkhart, like all Greatwood homes, is available as is or can be customized to fit your dream. Please call for additional details.

First Floor: 1,232 sq. ft. Second Floor: 287 sq. ft. Total Living Area: . . . 1,519 sq. ft.

Call for package prices.

FIRST FLOOR







Greatwood by Wilderness™ Log Homes

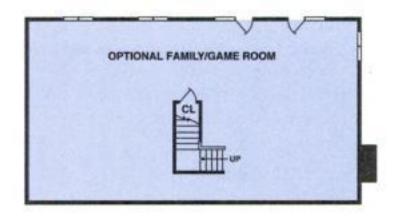
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LOWER LEVEL

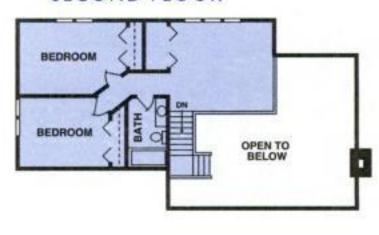




LAWRENCE SPRINGS

Decks and a screened porch surround this home for the ultimate in outdoor relaxing or entertaining. The open great room, dining room and kitchen create an airy feel to match the atmosphere of the large master bedroom and bath. Upstairs, two bedrooms, a bathroom and loft finish this home with everything you need.

Call for package prices.



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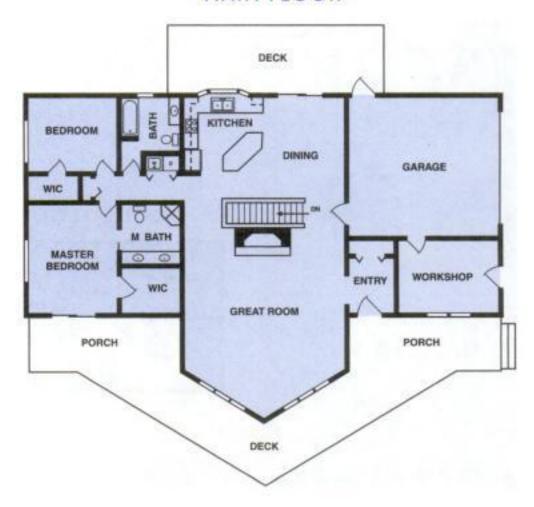
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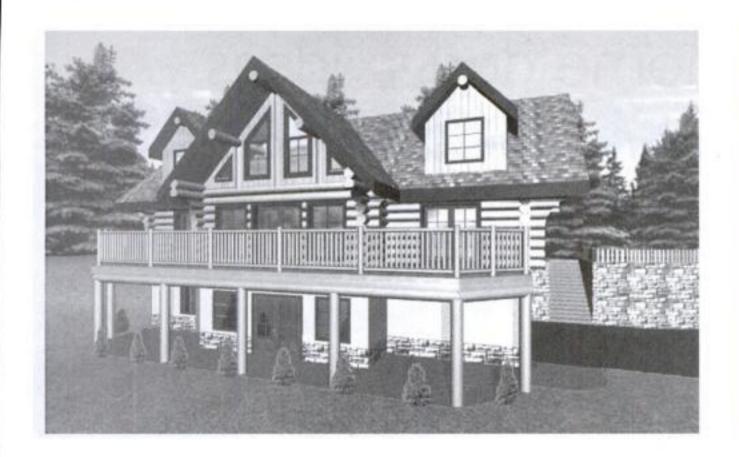


RIDGEVIEW

This handsome home is distinguished by a "prow" front filled with soaring windows that create a dramatic great room inside. The Ridgeview features a kitchen designed for convenience with an angled island. The dining area has sliding doors to the rear deck. Both bedrooms have walk-in closets and the master bedroom has a private bath. Outside the home are covered porches and a huge deck, as well as a workshop adjacent to the attached garage for the hobby or car enthusiast. From the well-ordered interior to the dramatic exterior; this is a remarkable home.

MAIN FLOOR





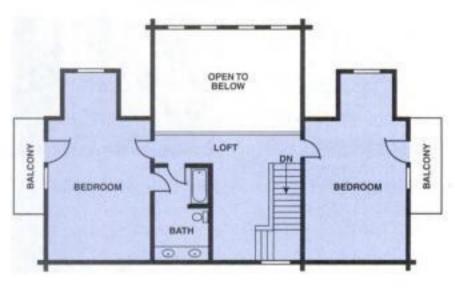


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FIRST FLOOR



SECOND FLOOR



JEFFERSON

The Jefferson combines elegance with comfort in an open layout that works well for everyday living and entertaining. The luxurious master suite has both a jetted tub and oversized shower. The second story includes two guest suites and an open loft. The garage is in the basement but can be relocated to the first floor.

First Floor: 1,420 sq. ft.
Second Floor: 833 sq. ft.
Total Living Area: . . . 2,253 sq. ft.

Company Catalog: \$15 Blueprints: \$1.50 per sq. ft. Log Package Price: \$63,226 The WoodsCrest Log
Homes log yard in
British Columbia builds
the finest Custom
Handcrafted Log Homes,
delivering over 40 buildings Worldwide last year.

Logs are full-length, TPIgraded Spruce, Fir or Cedar with a 12"-14" average diameter. Larger or smaller logs are available. Our Craftsmen are Specialists in creating Unique Log Homes using Cedar-Flared Ends, Norwegian Shrink-Fit. Saddle, Dovetail or Diamond Wedge Corner Notches. Styles include Scribe-Fit, Full-Chink, Hand-Hewn Square, Timber Frame or Post and Beam. We also build Custom Cedar or Fir Windows and Doors.

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Team at the Main Office
in Colorado will work
closely with you from
Concept to Completion.
Architectural services
are available for large or
complex designs.

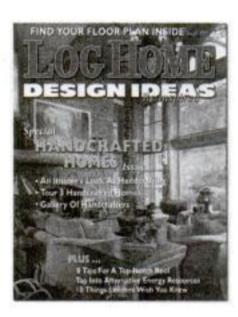
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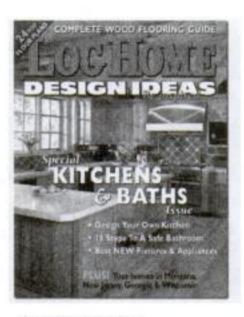
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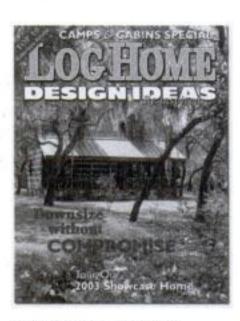
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MARCH 2003

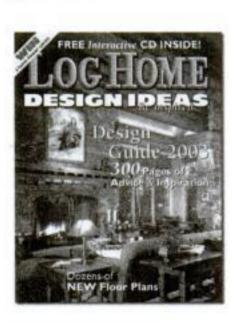
Special kitchens & baths issue. Tips for designing the perfect kitchen and bathroom. Browse through new kitchen and bathroom products. Plus a complete guide to wood flooring and what you need to know about log home ventilation.



FEBRUARY 2003

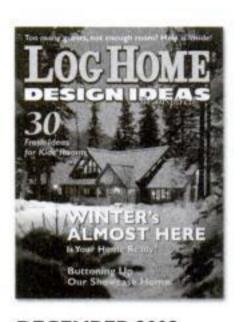
Camps & cabins special.

Watch as the finishing touches are put on the Double Eagle, our 2003 Showcase Home — from flooring to flowers and final details — then tour the finished product.



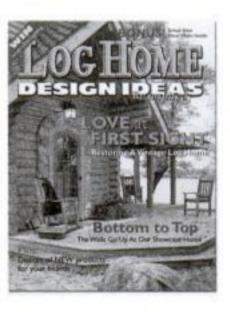
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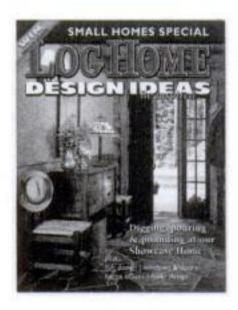
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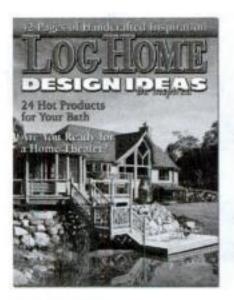
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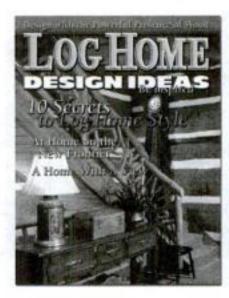
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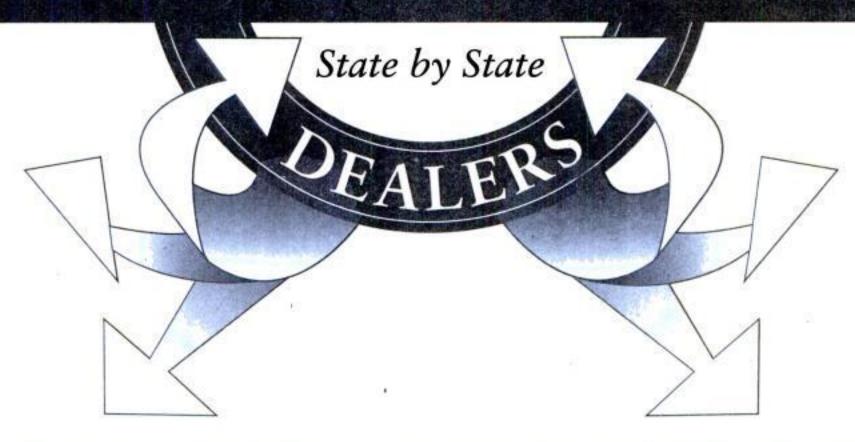
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Plan Name	Sq. Ft. Floors	Company	Page	Plan Name	Sq. Ft. Floors Company	Page
	Plans Unde	er 1,500 Square Feet	A \$1.00	Plans B	Between 2,251 and 2,500 Squar	e Feet
Boulder	1,1682	. Lumberfack Log Homes	190	Elk River	2,251 2 StoneMill Log Homes	211
Millboro	1,2242	. BPB Log Homes	172	Jefferson	2,253 2 WoodsCrest Log Homes	221
Fairfield	1,2962	. Coventry Log Homes	176	Star Valley	2,268 2 Neville Log Homes	198
River Bend	1,344 1	. BK Cypress Log Homes	170	Lawrence Springs	2,2942 Greatwood by Wilderness Log	Homes 219
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		. Greatwood by Wilderness Log I			2,464 2 Coventry Log Homes	
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		. Tennessee Log Homes		Big Sky	3,4422 Expedition Log Homes	178
		. Satterwhite Log Homes		MLH-027	3,4602 Montana Log Homes	194
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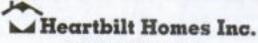
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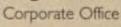


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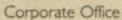
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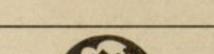


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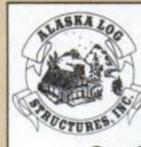
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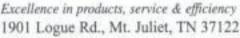
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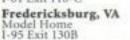


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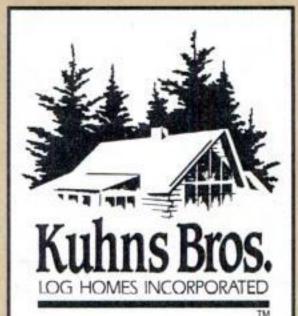
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